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भारतीय गैर न्यायिक

एक सौ रुपये

Rs. 100

₹. 100

ONE HUNDRED RUPEES



सत्यमेव जयते

भारत INDIA

INDIAN NON JUDICIAL

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पश्चिमवङ्ग पश्चिम बंगाल WEST BENGAL

AE 341333

Certified that the Agreement is registered in  
Registration. The Serial No. 325853/2021  
of the original record of the said Agreement  
is the part of this document.

NO. (2) 325853/2021



*[Signature]*  
Additional Registrar  
of Assessments, Kolkata

12 APR 2021

SUPPLEMENTARY DEVELOPMENT AGREEMENT

THIS SUPPLEMENTARY DEVELOPMENT AGREEMENT ("Agreement") is made at Kolkata  
on this 2nd day of March 2021

BY AND AMONG:

- 1) **ALOK TOWERS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Kolkata-700020, Police Station-Bhawanipore, Post Office - Elgin Road, having Permanent Account Number AAGCA3191H, duly represented by its Director/Authorized Signatory, **Aditya Sharma** [PAN: FVNPS382DP][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Grish Park, P.D. Beadon Street, Kolkata - 700006; and

1st Case No. 374  
 J(1)- 2021  
 J(2)- 250  
 Total 524  
 27/3/2021

76864

Sold to.....*Retirement Fund*.....  
Address .....

Value *NRG*.....

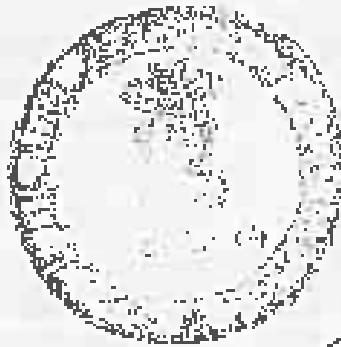
- 3 MAR 2021

L. S. V. High Court  
Abkhaz Bank  
High Court, A.S

*note LLP.*

*207 ASC 602 R/L*

*51-17*



ADDITIONAL RECEIPT  
OF INSURANCES - KOLKATA  
- 3 MAR 2021

- 2) **DIPANKAR PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9927G, duly represented by its Director/Authorized Signatory, **Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666]**, son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 3) **PRASHANT COMMODITIES PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AAECPS717C, duly represented by its Director/Authorized Signatory, **Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666]**, son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 4) **DEV DAN PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9925E, duly represented by its Director/Authorized Signatory, **Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666]**, son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 5) **IDENTITY REALITY DEVELOPERS LLP**, incorporated and registered under the Limited Liability Partnership Act, 2008 and having its registered office at 1st Floor, 26, Belvedere Road, Post Office Alipore, Police Station Alipore, Kolkata-700027, having Permanent Account Number AABC16448N, duly represented by its Director/Authorized Signatory, **Saurabh Parmanand Tapadiya [PAN: AAMPT7890F][AADHAR: 64407390273]**, son of Parmanand Laduram Tapadiya, residing at 26, Belvedere Road, 1st Floor, P.S - Alipore, P.O Alipore; and
- 6) **JOHRI TOWERS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AABC13407E, duly represented by its Director/Authorized Signatory, **Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666]**, son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and



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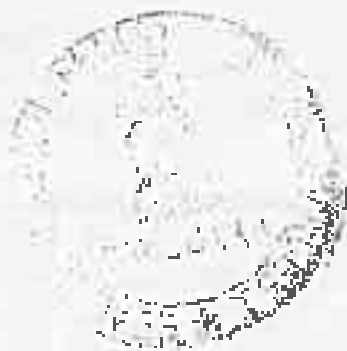
ASSTANT  
SECRETARY  
- 3 MAR 2024

- 7) **NAVJOY PROPERTIES PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECN6297K, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 8) **BASUDEB BUILDERS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 8/1, Lal Bazar Street, Bikaner Building, 1st Floor, Room No.11, Post Office General Post Office, Police Station Hare Street, Kolkata-700001, having Permanent Account Number AACCB5875F, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 9) **LAND MARK MEDINOVA LLP**, incorporated and registered under the Limited Liability Partnership Act, 2008 and having its registered office at 1st Floor, 26, Belvedere Road, Post Office Alipore, Police Station Alipore, Kolkata-700027, having Permanent Account Number AACCL1822G, duly represented by its Director/Authorized Signatory, Saurebh Parmanand Tapadiya [PAN: AAMPT7890F][AADHAR: 84407390273], son of Parmanand Laduram Tapadiya, residing at 26, Belvedere Road, 1st Floor, P.S - Alipore, P.O Alipore; and
- 10) **VEEKAY APARTMENTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AAACV9674J, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 11) **DEEPAN PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9923C, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S.



Girish Park, P.O. Beadon Street, Kolkata - 700006; and

- 12) **BFM INDUSTRIES LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AABCT0262F, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 13) **DEEPTIMAN PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9928K, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 14) **SOMANI ESTATES PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AAGCS3720A, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 15) **SATYEN PROPERTIES PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAUCS3948J, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 16) **SAMSPA EXPO PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 60A, Chowringhee Road, 2nd Floor, Police Station- Bhawanipore, Post Office - Elgin Road, Kolkata-700020, having Permanent Account Number AADC56679K, duly represented by its



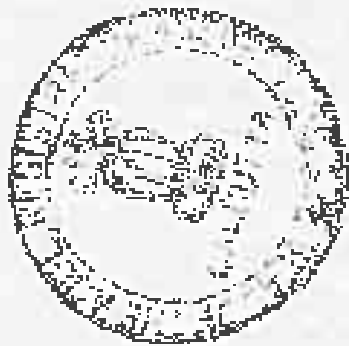
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Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and

- 17) **PUSPAKUMI ESTATES PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAHCP6349P, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 18) **DEVADATTA PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9926H, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 19) **AATMAJ REALTORS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAMCA5734A, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 20) **R. D. DEVCON PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at 8/1, Lal Bazar Street, Post Office General Post Office, Police Station Hare Street, Kolkata-700001, having Permanent Account Number AAECR0364H, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and
- 21) **DINAKAR PROJECTS PRIVATE LIMITED**, a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C,



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Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, having Permanent Account Number AAECD9933A, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNP53820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006; and

- 22) MODAK VYAPAAR PRIVATE LIMITED, a company incorporated under the Companies Act, 1956 and having its registered office at 8/1, Lal Bazar Street, Bikaner Building, 1st Floor, Room No.11, Post Office General Post Office, Police Station Hare Street, Kolkata-700001, having Permanent Account Number AAECM8135B, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNP53820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata-700006;

hereinafter collectively referred to as the "Owners" (which term or expression shall unless excluded by or repugnant to the subject or context mean and include each one of them and each of its respective successors, successors-in-interest and permitted assigns), of the FIRST PART;

**AND**

- {1) RITURAJ CONSTRUCTION LLP[PAN: AASFR2668H], Incorporated and registered under the Limited Liability Partnership Act, 2008, having its registered office at 207, Acharya Jagadish Chandra Bose Road, Post Office Circus Avenue, Police Station Beniapukur, District: South 24 Parganas, Kolkata-700017, duly represented by its Designated Partner Raj Vardhan Patodia[PAN: AFGPP0833H][AADHAR: 472304037792] son of Gopal Patodia, working for gain at 207, A. J. C. Bose Road, Kolkata - 700 017 P.S - Beniapukur, P.O - Circus Avenue, District: South 24 Parganas, hereinafter referred to as the "Developer" (which term or expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include the partners for the time being of the said partnership business or such other person and/or persons who may be taken in and/or admitted as partner and/or partners of the said partnership business or such other persons and/or persons who may carry on the business of the said partnership firm and their respective heirs, legal representatives, executors, administrators and assigns) of the SECOND PART;

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- 3 MAR 2021  
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AND

- (2) SATYEN NIRMAN PRIVATE LIMITED [PAN: AAUC54713M], a company incorporated under the Companies Act, 1956 and having its registered office at Ground Floor, 283C, Vivekananda Road, Post Office and Police Station Manicktala, Kolkata-700006, duly represented by its Director/Authorized Signatory, Aditya Sharma [PAN: FVNPS3820P][AADHAR: 615375497666], son of Dipak Kumar Sharma, residing at 32, Balaram Dey, P.S. Girish Park, P.O. Beadon Street, Kolkata - 700006, hereinafter referred to as the "SNPL" (which term or expression shall unless excluded by or repugnant to the subject or context mean and successors, successors-in-interest and permitted assigns), of the OTHER PARTY.

"Parties" shall mean collectively the Owners, the Developer and the SNPL and "Party" means each of the Owners, the Developer and the SNPL individually.

The capitalized words not defined herein but defined in the Principal Agreement (defined hereinafter), shall have their respective meanings as contained in the Principal Agreement.

**WHEREAS:**

- A. By a development agreement dated 2 August 2016 ("Principal Agreement") duly registered at the office of Additional Registrar of Assurance-IV, Kolkata in Book No I, Volume No 1904-2016, Pages from 277047 to 277143, Being No. 190407373 for the year 2016, the Owners herein and SNPL, inter alia, granted Development Rights to the Developer with respect to All That pieces and parcels of land measuring 197 (one hundred and ninety seven) decimals, more or less comprised in R.S. Dag Nos. 1079(P), 1081, 1082, 1085, 1087, 1088, 1089, 1063, 1074 and 1075(P), Khatlan Nos 1257 to 1276, at Mouza Agarpara, J. L. No.11, under Holding No. 80F, B.T. Road, in Ward No.6 of Panihatl Municipality, Sub-Registration Office Sodepur, Police Station Khardah, District North 24-Parganas for the purpose of developing the Project on the terms and conditions contained therein and on even date the Owners herein and SNPL had granted various powers in favour of the Developer herein vide a registered Power of Attorney dated 2nd August 2016 and registered with the office of the Additional Registrar of Assurances-III in Book No IV, CD Volume No 1903-2016, Pages from 116361 to 116399, Being No. 190304817 for the year 2016 ("Principal Power of Attorney")

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- B. In terms of the Principal Agreement, the Owners herein were able to cause the conversion of the land from various natures into Housing Complex save and except for R.S Dag No 1063 having an area of 07 decimal owned by SNPL.
- C. Subsequently, the Identity Realty Developers Pvt. Ltd. , was duly converted from a private company to a limited liability partnership namely Identity Realty Developers LLP, the Owner No. [5] herein and a fresh Certificate of Incorporation was issued by Registrar of Companies, West Bengal on 11th March 2020.
- D. In the circumstances and due to certain further developments thereafter, the Parties have now agreed to amend the Principal Agreement in the manner set out in this Agreement.

NOW THEREFORE, in consideration of the mutual covenants, terms and conditions and understandings set forth in this Agreement, and for other good and valuable consideration, the receipt and adequacy of which are hereby mutually acknowledged, the Parties, with the intent to be legally bound, hereby agree as follows:

## 1. AMENDMENT TO THE PRINCIPAL AGREEMENT

### 1.1 Substitution of definition of "Building Common Area" in Clause 1:

The existing definition of 'Building Common Area' shall stand substituted and replaced by the following new definition:

*"Building Common Area" shall include the corridors, stairways, landings, lobbies, entrances, exits/gates, passageways, ultimate roof, driveways, lifts, shafts/ducts, drains, sewers, pits, machine room, store room, caretaker room, community hall, electric/generator/transformer/meter or other equipment room, common toilets, other spaces, water tanks/reservoirs, pumps, motors, tube wells, pipes, plumbing, water tank, water filtration plant, periphery walls, parapet walls, projections, foundation, columns, supports, facilities whatsoever required for the use, enjoyment, establishment, locations, maintenance and/or management of the Building(s) and/or the common facilities or any of them as the case may be BUT excluding car parking space, both covered and open, private terrace, if any;"*

### 1.2 Substitution of definition of "Developer's Allocation" in Clause 1:



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The existing definition of 'Developer's Allocation' shall stand substituted and replaced by the following new definition:

"DEVELOPER'S ALLOCATION" shall mean 67% (sixty seven percent) of the Sale Proceeds of the Project;

**1.3 Substitution of definition of "Land" in Clause 1:**

The existing definition of 'Land' shall stand substituted and replaced by the following new definition:

*"LAND" or "LANDS" shall mean the land measuring 190 (one hundred and ninety) decimals, more or less equivalent to 7689.0346 (seven thousand six hundred eighty nine point zero three four six) square meters, more or less, more fully described in the Schedule 3 hereunder written and delineated in the map/plan attached as Schedule 5 hereto;*

**1.4 Substitution of definition of "Owners' Allocation" in Clause 1:**

The existing definition of 'Owners' Allocation' shall stand substituted and replaced by the following new definition:

"OWNERS' ALLOCATION" shall mean 33% (thirty three percent) of the Sale Proceeds of the Project;

**1.5 Substitution of sub-clauses (i) and (v) of the definition of "Sale Proceeds" in Clause 1:**

The existing sub-clauses (i) and (v) of the definition of 'Sale Proceeds' in clause 1 shall stand substituted and replaced as follows:

*"(i) any GST or any other present or future taxes/ cess or any other statutory or government levies or fees/charges on development, construction or sale/transfer of any Unit(s) or otherwise on the Project;"*

*(v) all amounts, considerations and receipts, whether one time or*



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OF RECORDS  
- 9 MAR 2021  
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*periodical, as may be received and collected from the Purchasers by the Developer as preferred location and floor escalation charges for top 4 (four) floors of the Building;"*

**1.6 Substitution of definition of "Units" in Clause 1:**

The existing definition of 'Units' shall stand substituted and replaced by the following new definition:

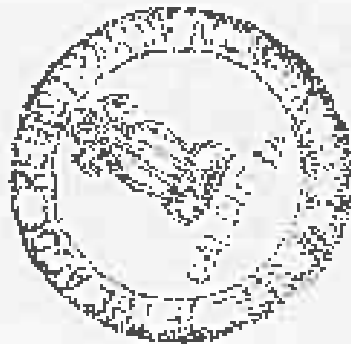
*"UNIT(s)" shall mean the self-contained units, flats, apartments etc for residential purposes and other built up spaces to be enjoyed for commercial purposes and car parking spaces in the Project to be constructed/ developed by Developer;"*

**1.7 Substitution of sub-Clause 6.2:**

The existing sub-clause 6.2 shall stand substituted and replaced by the following new sub-clause 6.2:

*"6.2 In consideration of the grant of the Development Rights by the Owners to the Developer under the terms of this Agreement, the Owners and the Developer agree that out of the Sale Proceeds to be received from the Intending Purchasers the Owners shall be entitled to the Owners' Allocation and the Developer shall be entitled to the Developer's Allocation as defined hereinbefore. The Owners' Allocation, less any other sum that is deductible or adjustable in terms of this Agreement, shall be provided by the Developer to the Owners in terms of percentage as under:*

<i>Sl. No.</i>	<i>Name of the Owner</i>	<i>% of Owners' Allocation payable</i>
<i>1</i>	<i>Alak Towers Pvt. Ltd.</i>	<i>1.49</i>
<i>2</i>	<i>Dipankar Projects Pvt. Ltd.</i>	<i>1.50</i>
<i>3</i>	<i>Prashant Commodities Pvt. Ltd.</i>	<i>1.49</i>



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OF ASSEMBLY  
- 3 MAR 2021

<i>Sf. No.</i>	<i>Name of the Owner</i>	<i>% of Owners' Allocation payable</i>
4	<i>Devdan Projects Pvt. Ltd.</i>	1.48
5	<i>Identity Reality Developers Pvt. Ltd.</i>	1.65
6	<i>Johri Towers Pvt. Ltd.</i>	1.49
7	<i>Navjat Properties Pvt. Ltd.</i>	1.48
8	<i>Basudev Builders Pvt. Ltd.</i>	1.49
9	<i>Land Mark Medinova LLP.</i>	1.65
10	<i>Veekay Apartments Pvt. Ltd.</i>	1.49
11	<i>Deepan Projects Pvt. Ltd.</i>	1.48
12	<i>BFM Industries Ltd.</i>	1.49
13	<i>Deeptiman Projects Pvt. Ltd.</i>	1.48
14	<i>Somani Estates Pvt. Ltd.</i>	1.49
15	<i>Satyen Properties Pvt. Ltd.</i>	1.48
16	<i>Somspa Expo Pvt. Ltd.</i>	1.49
17	<i>Puspakunj Estates Pvt. Ltd.</i>	1.48
18	<i>Devadatta Projects Pvt. Ltd.</i>	1.48
19	<i>Aatmaj Realtors Pvt. Ltd.</i>	1.47

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- 9 MAR 2021

<i>Sl. No.</i>	<i>Name of the Owner</i>	<i>% of Owners' Allocation payable</i>
20	<i>R.D. Devcon Pvt. Ltd.</i>	1.49
21	<i>Dinakar Projects Pvt. Ltd.</i>	1.47
22	<i>Modak Vyapaar Pvt. Ltd.</i>	1.49
	<b>Total:</b>	<b>33.00</b>

**1.8 Substitution of sub-Clause 6.3:**

The existing sub-clause 6.3 shall stand substituted and replaced by the following new sub-clauses:

*\*6.3.1 The Developer shall provide a Quarterly statement of account to the Owners giving details of the total Sale Proceeds received by the Developer during the period and calculation of the Owner's Allocation. The Owners shall be entitled, on a quarterly basis, to examine accounts of the Developer pertaining to the Sale Proceeds after giving prior intimation of minimum 7 (Seven) days to the Developer giving details of the persons authorised to inspect the accounts for and on behalf of the Owners.*

*6.3.2 Subject to Clause 13, the Owners' Allocation shall be paid by the Developer to the Owners on monthly basis after deducting cost of marketing as stated in clause 10.1.*

*6.3.3 Notwithstanding anything contrary contained in clauses above or elsewhere in this Agreement, the liability of the Developer to pay from time to time the Owner's Allocation shall always remain subject to the relevant provisions in any Applicable Law which mandates mandatory transfer of transfer proceeds of a project to separate account and the regulated withdrawal procedure from such separate account. It is also made clear that under no circumstances Owners shall demand from Developer any amount*



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*as Owner's Allocation out of such separate account which is otherwise not withdrawable for the time being. Provided, however, as and when any amount is withdrawn from the said separate account, the provisions of clause 6.3.2 shall apply to such withdrawals. It being agreed that if any interest accrues in the separate account then the same shall be shared in the agreed ratio."*

**1.9 Substitution of sub-Clause 6.4:**

The existing sub-clause 6.4 shall stand substituted and replaced by the following new sub-clause 6.4:

*"6.4 The Owners acknowledge and agree that the Developer shall stand discharged of its obligations on payment of the Owners' Allocation or any part of it in the above manner as mentioned Clause 6.2 above and thereafter the Owners shall have no recourse to the Developer."*

**1.10 Substitution of sub-Clause 8.1:**

The existing sub-clause 8.1 shall stand substituted and replaced by the following new sub-clause 8.1:

*"8.1 The Developer agrees to complete the Project in Phases within a period of 60 (sixty) months with a grace period of 6 (six) months from the date of commencement of work as shall be approved by the Authorities, subject to Force Majeure Events and any delays that cannot be made up and that have lasting impacts on the final finish time owing to defaults of the Owners ("Completion Period"). Any extension after the aforementioned period shall be mutually decided between the Parties."*

**1.11 Substitution of sub-Clause 10.1:**

The existing sub-clause 10.1 shall stand substituted and replaced by the following new sub-clause 10.1:

*"10.1 The Parties shall be entitled to use their respective brands for marketing or any other media publicity for the Project. The Developer shall be entitled to advertise and market the Project. The Developer shall arrange*



*for marketing or any other media publicity for the Project. The Owners shall bear 3% (three percent) of Sale Proceeds in respect of their allocation, as the cost of marketing which in total will not exceed 3% of Owners Allocation"*

**1.12 Substitution of sub-Clause 10.4:**

The existing sub-clause 10.4 shall stand substituted and replaced by the following new sub-clause 10.4:

*"10.4 Subject to other terms and conditions mentioned herein, the Developer shall be exclusively entitled to and shall have exclusive right to transfer or otherwise deal with or dispose of the Unit(s) in the Project and the car parking spaces in the Ground and Podium levels of the Buildings in such manner and on such terms and conditions as the Developer may deem fit and proper. The Owners shall not in any way interfere with or disturb the quiet and peaceful possession and enjoyment of the Land by the Developer, subject however, to what is provided in the Agreement. The Parties hereby agree that the price and payment schedule for transfer of the Units shall always be decided by the Developer."*

**1.13 Deletion of sub-Clause 11.9:**

The existing sub-clause 11.9 shall stand deleted.

**1.14 Replacement of existing Clause 12 with new Clause 12**

The existing Clause 12 of the Principal Agreement shall stand replaced and substituted by the following new Clause 12:

**"12. Construction Finance**

*12.1 Subject to Clause 12.6, the Developer shall have the right and authority to raise loans and finance for construction and development of the Project from any Banks and/or the Financial Institutions and/or Non-Banking Financial Companies and/or Housing Finance Companies and/or Recognized Foreign Direct Investors by mortgaging the said entire project land and also by charging the Developer's Allocation in the revenue from the Project without however creating any financial obligation upon the Owners and*

3 ✓  
ADDITIONAL PROVISIONS  
OF ASSIGNMENT 110-021A  
- 3 MAR 2021

*without creating any charge or lien on the Owner's Allocation of revenue in the Project. The Owner agree from time to time to provide consents, confirmation and no objections or other documents as may be required for such mortgage or charge to be created by the Developer and also agree to sign necessary loan and other agreements and power of attorney with the bankers or financiers in connection with the above Provided That the Owners shall not be liable in any manner for repayment thereof or any consequence of default in such repayment. The Developer is hereby authorised by the Owners to do all such acts as may be required for the same for and on behalf of the Owners.*

*12.2 The Developer shall keep the Owners absolutely indemnified and harmless against repayment of the loans and advances including interest of the Banks and/or Financial Institutions and/or Housing Finance Companies and/or Non-Banking Financial Companies.*

*12.3 The Developer shall be responsible to repay the loans and advances as it would from time to time obtain from Banks and/or Financial Institutions and/or Housing Finance Companies and/or Non-Banking Financial Companies (NBFCs) and all interests thereon and charges related thereto and the Owners shall not be liable or responsible for the same in any manner.*

*12.4 The Owners hereby agree to furnish and/or hereby authorise the Developer to furnish for and on their behalf to the lenders of the Intending Purchasers No Objection Certificates for creation of mortgage over their respective Unit(s) and the proportionate interests in the Land from time to time as a collateral security.*

*12.5 As and when asked for by the Developer, the Owners shall deposit the original title deeds with the Banks and/or Financial Institutions and/or Housing Finance Companies and/or Non-Banking Financial Companies for the purpose of raising finance for the Project.*

*12.6 The Developer shall deposit the original title deeds as referred to in Clause 12.5 above subject to the Developer expending an amount as referred in clause 12.7 towards the Project Costs and the expenses for any marketing, advertising and any other administrative expenses."*



*[Handwritten signature]*

ADDITIONAL REGISTRAR OF  
ASSURANCES, CALCUTTA

3.3.2021

12.7 All the payments and receipt towards Security Deposit amounting to Rs. 5,50,00,000.00 (Rupees Five Crore Fifty Lac) only as per principal Development Agreement dated 02<sup>nd</sup> day of August, 2015, duly registered in the office of the Additional Registrar of Assurances-IV, being Deed No. 1-1904073/3 of 2015 has been duly paid and discharged on or before execution of the said Principal Agreement.

**1.15 Substitution of sub-Clause 13.3:**

The existing sub-clause 13.3 shall stand substituted and replaced by the following new sub-clause 13-3:

*"13.3 It is hereby agreed and acknowledged by the Owners that the Developer shall adjust 80% (eighty percent) of the Owners' Allocation towards adjustment of the Security Deposit, periodically and proportionately from time to time, as may be mutually decided by the Parties till the entire Security Deposit stands adjusted."*

**1.16 Deletion of existing item no 23 from Schedule 1**

The existing item no. 23 bearing the name of the Satyen Nirman Private Limited shall stand deleted.

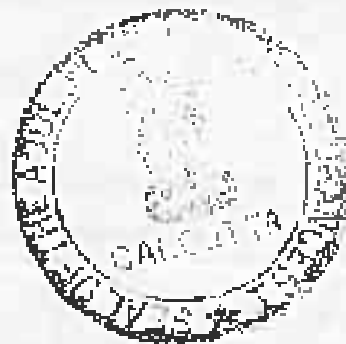
**1.17 Substitution of Schedule 2:**

The existing Schedule 2 shall stand substituted and replaced by the following new Schedule 2.

**SCHEDULE 2**

**[Sale Deeds]**

By the following 22 (twenty two) Sale Deeds all dated the 21 November 2014 and registered at the office of the ADSR, Sodepur, one R. K. Millen & Co.(India) Pvt. Ltd. sold transferred and conveyed to the Owners the ALL THAT piece and parcel of the land measuring 207 decimals comprised in R.S. Dag Nos. 1079(P), 1081, 1082, 1086, 1087, 1088, 1089, 1074 and 1075(P) at Mouza Agarpura, J. L. No.11, under Holding No. 80F, B.T. Road, in Ward No.6 of Panihati Municipality, Sub-Registration Office Sodepur, Police Station Khardah, District North 24-Parganas as under:-

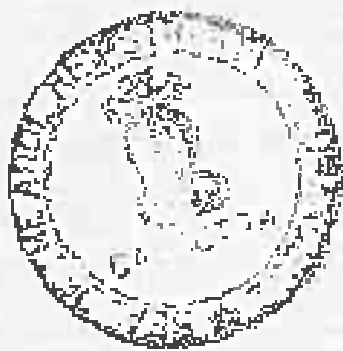


ADDITIONAL REGISTRAR OF  
ASSURANCES, KOLKATA

3.3.2021

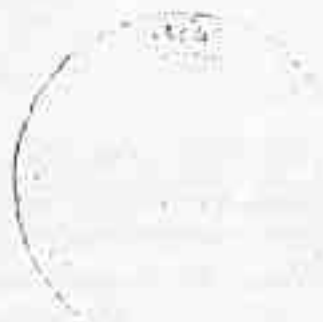


Sl NO.	OWNERS	Deed No.	Dag No.	Area (in decimals)
1	Alok Towers Pvt. Ltd.	5509/2014	1074	06
			1075	06
2	Dipankar Projects Pvt. Ltd.	5498/2014	1075	12
3	Prashant Commodities Pvt. Ltd.	5497/2014	1075	09
4	Devdan Projects Pvt. Ltd.	5516/2014	1079	10
5	Identity Realty Developers Pvt. Ltd.	5504/2014	1079	10
6	Johri Towers Pvt. Ltd.	5514/2014	1079	10
7	Navjot Properties Pvt. Ltd.	5500/2014	1079	09
8	Basudev Builders Pvt. Ltd.	5502/2014	1081	10
9	Land Mark Medinova Pvt Ltd (now known as Land Mark MedinovaLLP)	5508/2014	1081	11.4
10	Veekay Apartments Pvt. Ltd.	5510/2014	1081	10
11	Deepon Projects Pvt. Ltd.	5499/2014	1081	10
12	BFM Industries Ltd.	5501/2014	1081	10
13	Deeptiman Projects Pvt. Ltd.	5505/2014	1081	10
14	Somanl Estates Pvt. Ltd.	5518/2014	1081	10
15	Satyen Properties Pvt. Ltd.	5541/2014	1081	10
16	Samspa Expo Pvt. Ltd.	5512/2014	1081	10
17	Puspakunj Estates Pvt. Ltd.	5517/2014	1081	10
18	Devadatta Projects Pvt. Ltd.	5513/2014	1081	2.6
19	Aatmaj Realtors Pvt. Ltd.	5515/2014	1082	9.7



- 3 MAR 2021

SL NO.	OWNERS	Deed No.	Doc No.	Area (in decimals)
20	R. D. Devcon Pvt. Ltd.	5507/2014	1082	9.3
21	Dinakar Projects Pvt. Ltd.	5506/2014	1086	06
22	ModakVyapaar Pvt. Ltd.	5511/2014	1087	04
			1088	01
			1089	01
			<b>Total:</b>	<b>207 decimals</b>



✓  
- 3 MAR 2021

**ON THE SOUTH :** *By Dag No. 1080, 1079, 1078, 1075 (P) and By Common Passage leading to Murali Mohan Mitra Road*

**ON THE EAST :** *By Barrackpur Trunk Road*

**ON THE WEST :** *By Dag No. 1090*

**AND delineated in the Plan in RED colour attached herewith as Schedule 5"**

## **2. REPLACEMENT OF WORD SERVICE TAX**

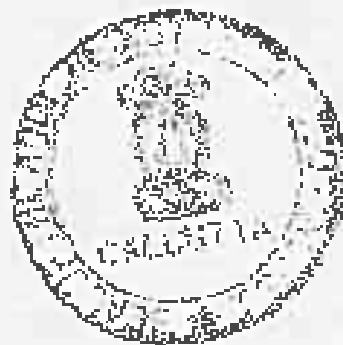
In the existing the Principal Agreement, the word "Service Tax" wherever appearing shall stand replaced and substituted with "Goods and Service Tax (GST)".

## **3. POWER OF ATTORNEY**

If so requested by the Developer, the Owners herein shall execute a new power of attorney in the name and favour of the Developer in suppression of the Principal Power of Attorney on the same terms and with the same powers and authorities as provided under the Principal Power of Attorney.

## **4. MISCELLANEOUS**

- 4.1 The term or expression "Owners" wherever appearing the Principal Agreement shall be deemed to mean and include the Owners described in Schedule 1 hereto.
- 4.2 In all other respects the terms of the Principal Agreement shall remain unaltered.
- 4.3 The SNPL (including its successors, assigns, transferees and anyone claiming under it), hereby irrevocably and unconditionally undertake that, it shall not have any claim, ownership, share, right, title, interest, easement rights whatsoever or howsoever nor any claim or demand with regard thereto nor object to development on the said Land. The land comprised in the said R.S Dag No 1063 having an area of 7 (seven) decimal owned by SNPL shall be treated as adjoining property to the said Land on which the Project shall be developed (hereinafter referred to as the "Adjoining Property"). It is expressly agreed understood and



4  
KARNATAKA GOVT  
BANGALORE  
- 3 MAR 2021

clarified that both the said Land and the Adjoining Property are and shall always remain Independent and separate properties notwithstanding the fact that a single Holding No has been issued by the concerned authority and a single master plan and layout plan has been sanctioned for both the properties. The SNPL (Including its successors, assigns, transferees and anyone claiming under it), hereby further irrevocably and unconditionally undertake that, It shall not use the Adjoining Property for any other purpose other than as may be mutually agreed in writing between the Owners and the Developer and in accordance with the provisions of all applicable laws.

- 4.4 This Agreement shall be deemed to form part of the Principal Agreement. Accordingly, all references in the Principal Agreement shall be construed as references to the Principal Agreement as supplemented and amended by this Agreement. Subject to the provisions of this Agreement, the Principal Agreement and this Agreement shall remain in full force and effect.
- 4.5 Each of the Parties, for itself, represent and warrant to the other that It has power to enter into this Agreement and to exercise rights and perform obligations hereunder and the Agreement constitutes a valid and legally binding obligation of such party, enforceable against It in accordance with the terms hereof.

**[FOLLOWING PAGES ARE EXECUTION PAGES]**



ADDITIONAL SECRETARY  
OF ASSOCIATION OF NORTHERN  
- 3 MAR 2021



**IN WITNESS WHEREOF** the parties hereto have hereunto set and subscribed their respective hands the day month and year first above written.  
**SIGNED AND DELIVERED** by the within-named **OWNERS** at Kolkata in the presence of:

1. *B.B. Lahacharya*  
S/o. *Sanku Ranjan Lahacharya*  
5, *Shamivivakta Senaka Road*  
*Hab-32*

2. *Sagar Dasgupta*  
S/o *Kate Baidyaranth Dasgupta*  
3A, *Anulekha Place.*  
Kolkata - 70017

**Alok Towers Pvt. Ltd.**  
*Aditya Sharma*  
Director  
**DIPANKAR PROJECTS PVT. LTD.**

*Aditya Sharma*  
Authorized Signatory  
**PRASAD COMMUNITIES PVT. LTD.**

*Aditya Sharma*  
Director  
**DEVAN PROJECTS PRIVATE LTD.**  
*Aditya Sharma*  
Authorized Signatory

**JOBI TOWERS PVT. LTD.**  
*Aditya Sharma*  
Director  
**BASUDEV BUILDERS PVT. LTD.**

*Aditya Sharma*  
DIRECTOR

**Veekey Apartments Pvt. Ltd.**  
*Aditya Sharma*  
Director

**S F B INDUSTRIES LTD**  
*Aditya Sharma*  
Director

**SOMANI ESTATES PRIVATE LIMITED**  
*Aditya Sharma*  
Director

**PTI SANSPA EXPO PVT. LTD.**  
*Aditya Sharma*  
Director

**DEVADIKETA PROJECTS PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

**RD DEVCON PVT. LTD.** **DIPANKAR PROJECTS PVT. LTD.**  
*Aditya Sharma* *Aditya Sharma*  
Director Authorized Signatory

**Identity Reality Developers LLP**  
*Santosh Dasgupta*  
Designated Partner  
**KANJOT PROPERTIES PVT. LTD.**

*Aditya Sharma*  
Authorized Signatory

**LANDMARK REAL ESTATE LLP**  
*Santosh Dasgupta*  
Designated Partner

**DEEPAN PROJECTS PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

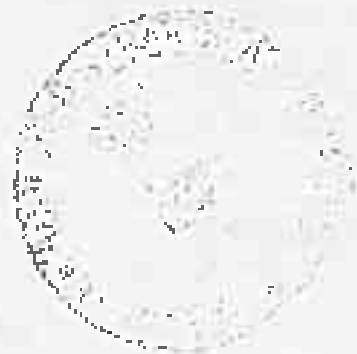
**DEEPTMAN PROJECTS PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

**SATYEN PROPERTIES PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

**PUSPALEKHA ESTATES PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

**AATMAJ REALTORS PVT. LTD.**  
*Aditya Sharma*  
Authorized Signatory

**MODAK VYAPAAR PRIVATE LIMITED**  
*Aditya Sharma*  
Director



অসম চৰকাৰ  
গে. অফিচ, পলি. কলোনি  
- 3 MAR 2021

SIGNED AND DELIVERED by the within-named  
DEVELOPER at Kolkata in the presence of:

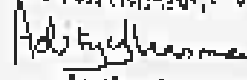
Rituraj Construction LLP

  
Designated Partner

1. B. B. Chattacharya  
S/o. Sunit Ranjan Chattacharya  
5, Swami Vivekananda Rd  
KOL-32

2. Sagar Dasgupta

SIGNED AND DELIVERED by the within-named  
SATYEN NIRMAN PRIVATE LIMITED ("SNPL")  
at Kolkata in the presence of:

SATYEN NIRMAN, PVT. LTD.  
  
Authorized Signatory

1. B. B. Chattacharya  
S/o Sunit Ranjan Chattacharya  
5, Swami Vivekananda Rd  
KOL-32.

2. Sagar Dasgupta

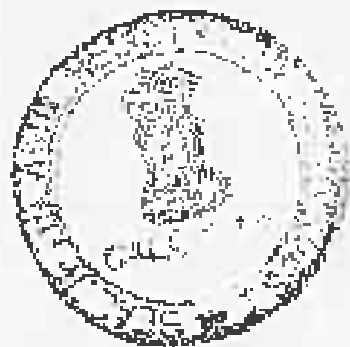
Drafted by:



Swarup Sil,  
Advocate

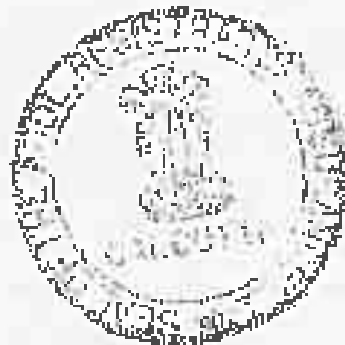
High Court at Calcutta

WB/286/2007



ADDITIONAL REGISTRAR  
OF ASSAM - DISPURA  
- 3 MAR 2021














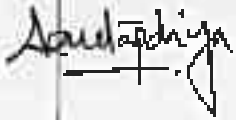
























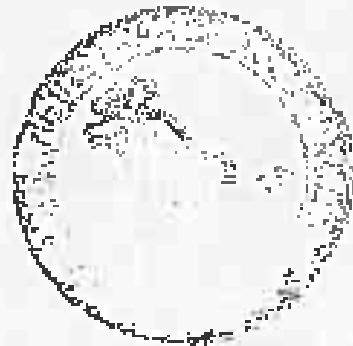


ADDITIONAL REGISTRAR OF  
COMPANIES, KOLKATA

3.3.2021

# SPECIMEN FORM TEN FINGER PRINTS

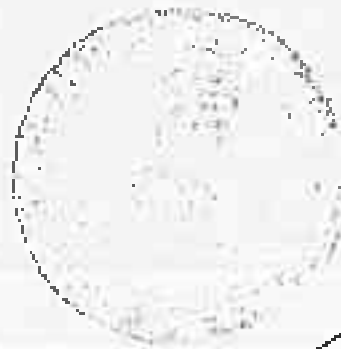
No.	Signature of the executants and/or purchaser Presentants					
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		 Thumb	 Fore	 Middle (Right Hand)	 Ring (Right Hand)	 Little
		 Little	 Ring	 Middle (Left Hand)	 Fore (Left Hand)	 Thumb
		 Thumb	 Fore	 Middle (Right Hand)	 Ring (Right Hand)	 Little
		 Little	 Ring	 Middle (Left Hand)	 Fore (Left Hand)	 Thumb
		 Thumb	 Fore	 Middle (Right Hand)	 Ring (Right Hand)	 Little




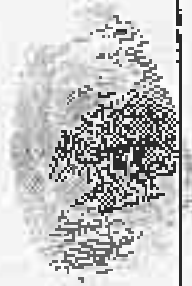

ADDITIONAL REGISTRAR  
OF ASSURANCE POLICIES  
- 3 MAR 2021







8 ↙  
ADDITIONAL REGISTRAR  
OF ASSURANCE IN KUALA  
- 3 MAR 2021

Sl No.	Name of the Executant	Category	Photo	Finger Print ( 2 5 2 )	Signature with date
2	Mr ADITYA SHARMA 32, BALARAM DEY STREET, P.O:- BEADON STREET, P.S.- Girish Park, Kolkata, District-Kolkata West Bengal, India, PIN - 700006	Represent ative of Land Lord [ALOK TOWERS PRIVATE LIMITED ] ,[DIPANK AR PROJECT S PRIVATE LIMITED ] ,[PRASHA NT COMMOD ITIES PRIVATE LIMITED ] ,[DEV DAN PROJECT S PRIVATE LIMITED ] ,[JOHRI TOWERS PRIVATE LIMITED ] ,[NAVJOT PROPER TIES PRIVATE LIMITED ] ,[BASUDE V BUILDER S PRIVATE LIMITED ] ,[VEEKAY APARTM ENTS PRIVATE LIMITED ] ,[DEEPAN			 04/03/2021





ADDITIONAL REGISTER  
OF ASSURANCE POLICY  
- 3 MAR 2021





ADDITIONAL RECEIVING  
OF ASSOCIATED DATA  
- 3 MAR 2021


Sl No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
		PRIVATE LIMITED ] [DINAKAR PROJECTS PRIVATE LIMITED ] [MODAK VYAPAAR PRIVATE LIMITED ] [SATYEN NIRMAN PRIVATE LIMITED ]			<i>Amitabh Banerjee</i> 03/03/2021.
Sl No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
3	Mr SAURABH PARMANAND TAPADIYA 26, BELVEDERE ROAD, 1st FLOOR, P.O.- AIPORE, P.S.- Alipore, District- South 24-Parganas, West Bengal, India, PIN - 700027	Representative of Land Lord [IDENTITY REALTY DEVELOPERS LLP ] [LAND MARK MEDINOV A LLP ]			<i>Saurabh Tapadiya</i> 03/03/2021.



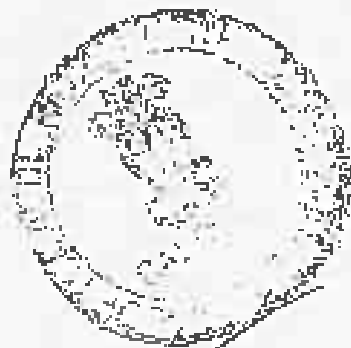
3 MAR 2024



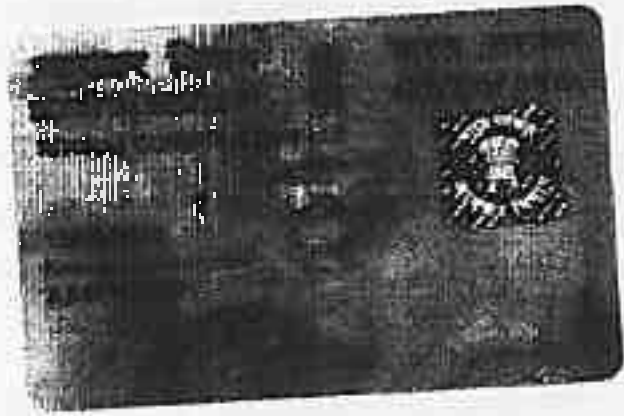
Sl No.	Name and Address of Identifier	Identifier of	Photo	Finger Print 12/5/19	Signature with date
1	Mr ANIRBAN BHATTACHARYA Son of Mr G BHATTACHARYA 77, KALIDHAM BHATTACHARYA ROAD, P.O:- JAYNAGAR MAYAPUR, P.6:- Joynagar, District:- South 24-Parganas, West Bengal, India, PIN - 743337	Mr RAJ VARDHAN PATODIA, Mr ADITYA SHARMA, Mr SAURABH PARMANAND TAPADIA			Anirban Bhattacharya 02/05/2019

  
(Debasis Patra)

ADDITIONAL REGISTRAR  
OF ASSURANCE  
OFFICE OF THE A.R.A. - I  
KOLKATA  
Kolkata, West Bengal



ADDITIONAL COPY  
OF ADVERTISEMENT  
- 3 MAR 2021



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आयुक्त विभाग  
INDUSTRIAL DEPARTMENT



भारत सरकार  
GOVT. OF INDIA

INDIA: GENERAL LTD.



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AAICJ3407E

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7

**THE STATE OF FLORIDA**  
**COMPTROLLER GENERAL**  
**MANUALLY PREPARED PAYMENTS**  
**LIMITED**

**TRAVELERS**  
**TRAVELERS**  
**TRAVELERS**  
**TRAVELERS**

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*Aditya Kumar*





8

भारतीय सरकार  
 GOVT OF INDIA  
 भारतीय मंत्रालय  
 MINISTRY OF FINANCE  
 BASUDEV BUILDERS PRIVATE LIMITED  
 11/08/2004  
 Permanent Account Number  
 AACDBS875F

भारतीय सरकार, नई दिल्ली की ओर से  
 जारी किया गया है।  
 यह एक वैध दस्तावेज़ है।  
 यदि कोई व्यक्ति इस दस्तावेज़ का उपयोग  
 करता है, तो उसे अपने अधिकारों का उपयोग  
 करने में सक्षम बनाया जाएगा।  
 अधिक जानकारी के लिए, कृपया हमें  
 संपर्क करें।  
 PAN Services Unit, NSDT,  
 5th Floor, Trade World, A Wing,  
 Connaught Place, New Delhi - 110028  
 Tel: 91-11-2345 6789, Fax: 91-11-2345 6789  
 e-mail: info@pan.gov.in

*Aditya Sharma*



REDAKTED ACCOUNT NUMBER  
AA4020676

10/10

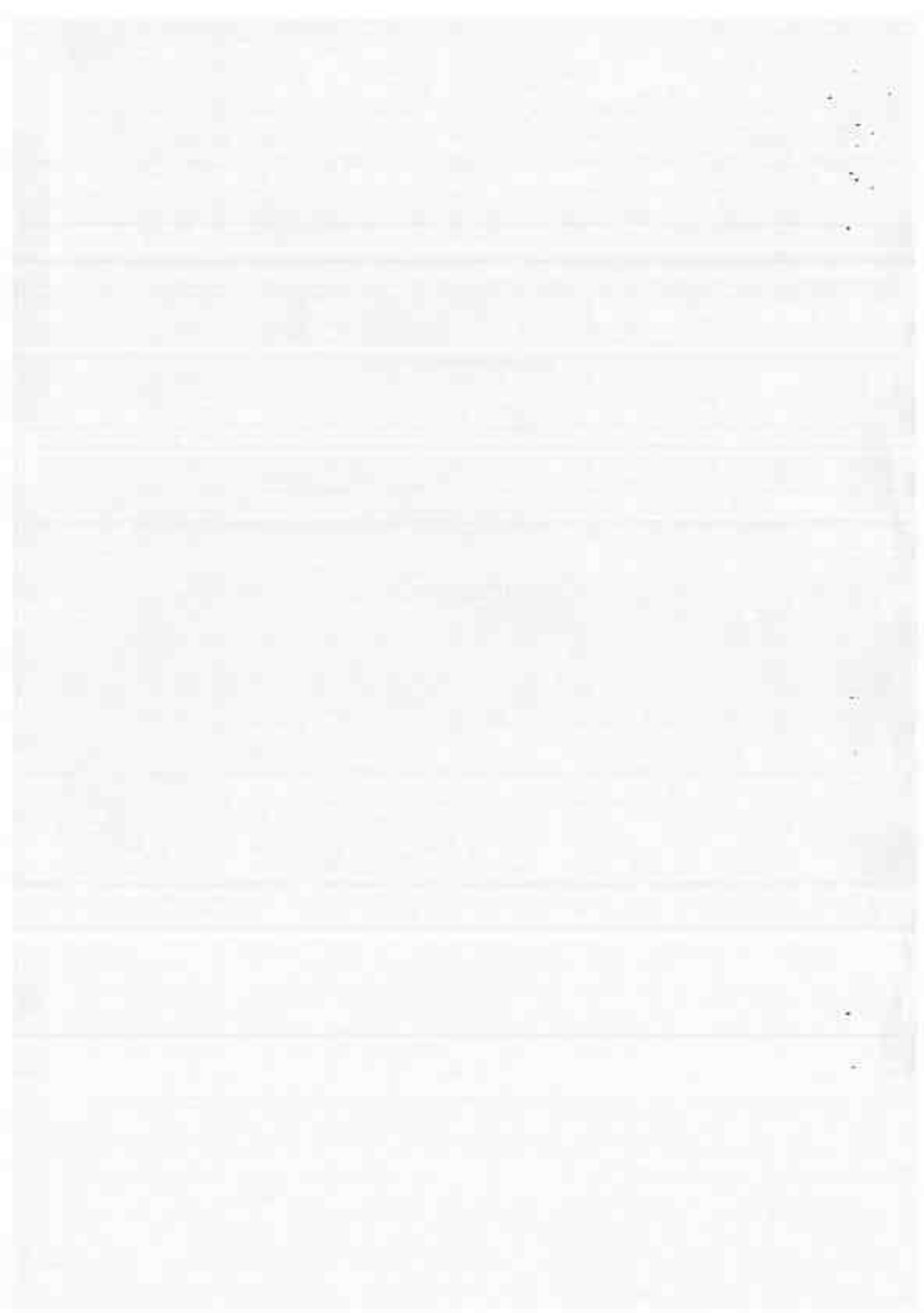
2  
MEXICAN APARTMENT (MEX) (MEX)

Account number of the account to be transferred  
00000000

*Signature*  
MEXICAN APARTMENT (MEX) (MEX)

*Signature*

✓









भारतीय डाक  
भारत सरकार  
प्रशांत कॉमोडिटी प्राइवेट लिमिटेड

1403/2007

प्रिन्सिपल ऑफिस

44005770

*Prashant Commodities*





आयकर विभाग

INCOME TAX DEPARTMENT

BFM INDUSTRIES LIMITED

22/11/1894

Permanent Account Number

AAECT0262F

भारत सरकार

GOVT. OF INDIA



36792008

*Pradyabharan*



12

**संयुक्त विपणन**  
**INDIAN DEPARTMENT**  
**DEEPTIMAN PROSPECTS PRIVATE**  
**LIMITED**

**संयुक्त विपणन**  
**GROUP OF INDIA**



13/03/2014  
 Personal Account opened  
**ANB@BANK**

The account is open/operating in the name of  
 Mr. Anil Kumar Singh, son of Mr. Anand Kumar Singh, residing at  
 10/10, Sector 14, Gurgaon, Haryana.  
 The account is opened for the purpose of  
 saving and investment.  
 The account is opened in accordance with the  
 provisions of the Reserve Bank of India  
 (RBI) Act, 1947 and the Banking  
 Regulation Act, 1949.  
 The account is opened in accordance with the  
 provisions of the Reserve Bank of India  
 (RBI) Act, 1947 and the Banking  
 Regulation Act, 1949.

*Anil Kumar Singh*







STATE OF MICHIGAN  
DEPARTMENT OF TREASURY

STATE OF MICHIGAN

DEPARTMENT OF TREASURY  
STATE OF MICHIGAN

State of Michigan

Aditya Sharma







आयकर विभाग  
INCOME TAX DEPARTMENT



भारत सरकार  
GOVT OF INDIA

SANSAA EXPO PRIVATE LIMITED

13071984

PROVISIONAL ACCOUNT NUMBER

AACDS67K

*Aditya Sharma*













भारत सरकार  
आयुक्त मंत्रालय  
भारत सरकार

भारत सरकार  
GOVT OF INDIA

भारत सरकार  
आयुक्त मंत्रालय  
भारत सरकार



27/03/2014  
आयुक्त मंत्रालय  
आयुक्त मंत्रालय

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आयुक्त मंत्रालय



भारत सरकार

Unique Identification Authority of India

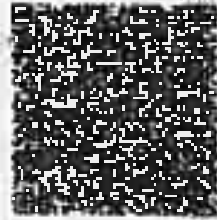
नाटकी क्रमांक / Enrollment No.: 2006/32051/00120

पंजीकृत ठेका संख्या / Registered Dues No.

To  
सौरभ तपडिया  
Saurabh Tapdiya  
Bharat housing colony  
jail road  
civil line  
Wardha  
Wardha Wardha  
Maharashtra - 442001  
9830028121

पंजीकृत ठेका संख्या / Registered Dues No.

Signature of Vendor  
Saurabh Tapdiya  
9830028121



आपला आधार क्रमांक / Your Aadhaar No. :

**8444 0739 0273**

माझी आधार, माझी ओळख

Saurabh Tapdiya

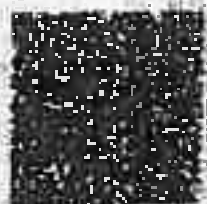


भारत सरकार

Government of India



सौरभ तपडिया  
Saurabh Tapdiya  
जन्म तारीख / DOB: 23/09/1975  
पुरुष / MALE

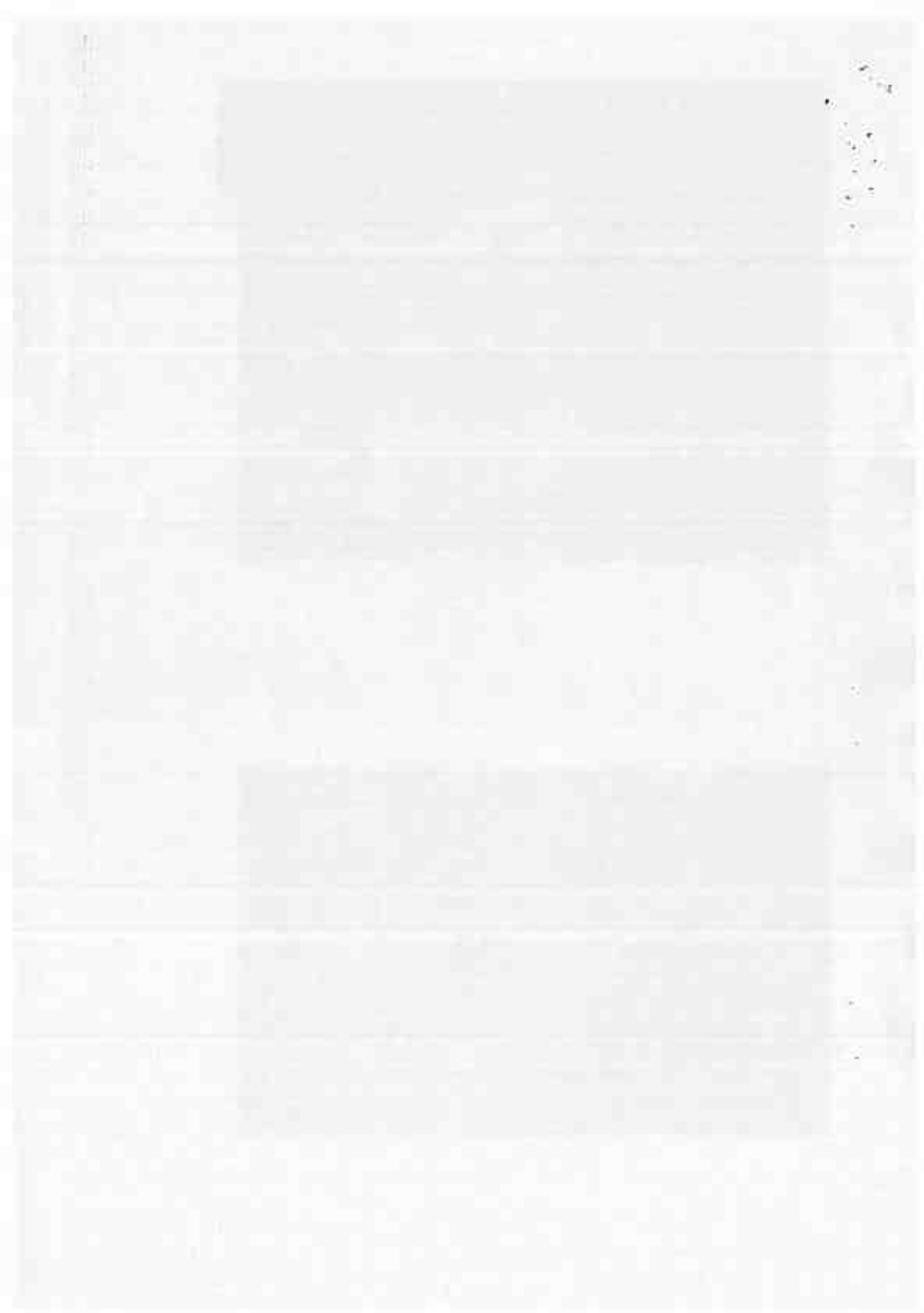


**8444 0739 0273**

माझी आधार, माझी ओळख











10/10/10

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10/10/10



भारत सरकार

GOVERNMENT OF INDIA



आदित्य शर्मा

Aditya Sharma

जन्मतिथि/ DOB: 02/07/1994

पुरुष / MALE



6153 7549 7666

आधार आधार, आधार परिचय

*Aditya Sharma*





भारतीय विशिष्ट पहचान प्राधिकरण  
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

ठिकाना:

३२, बलराम दे स्ट्रीट, बिडन स्त्रीट,  
कोलकाता,  
पश्चिम बंग - ७००००६

Address

32, BALARAM DEY  
STREET, Beadon  
Street, Kolkata,  
West Bengal - 700006

Generation Date: 01/07/2016



1947  
1800 300 1947



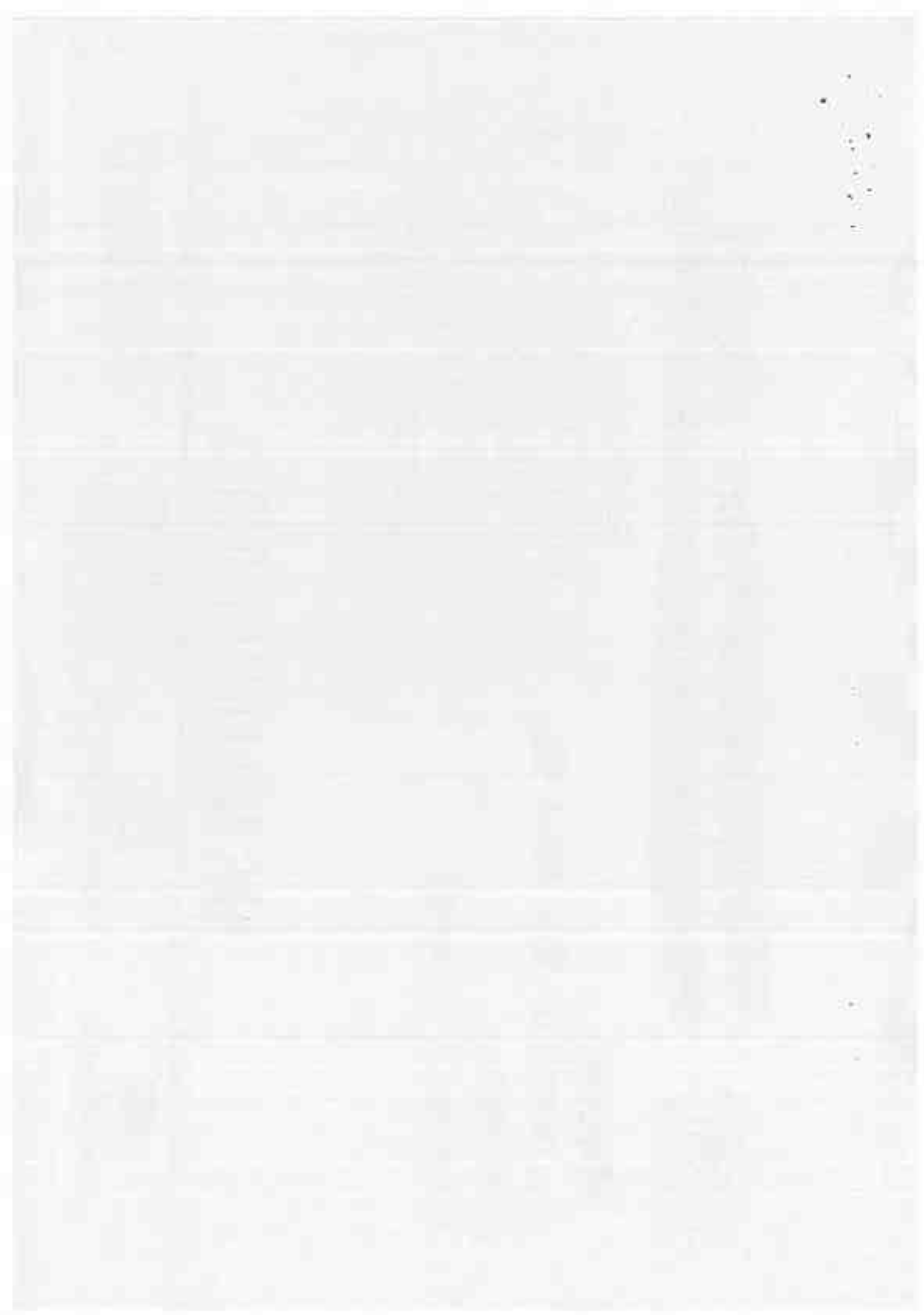
help@uidai.gov.in

WWW

www.uidai.gov.in

P.O. Box No. 1947,  
Bengaluru-560 001

*Signature*



सर्वप्रथम विभागीय

INCOME TAX DEPARTMENT

LANDMARK MEDINOVA LLP



सर्वप्रथम विभागीय

GOVT. OF INDIA

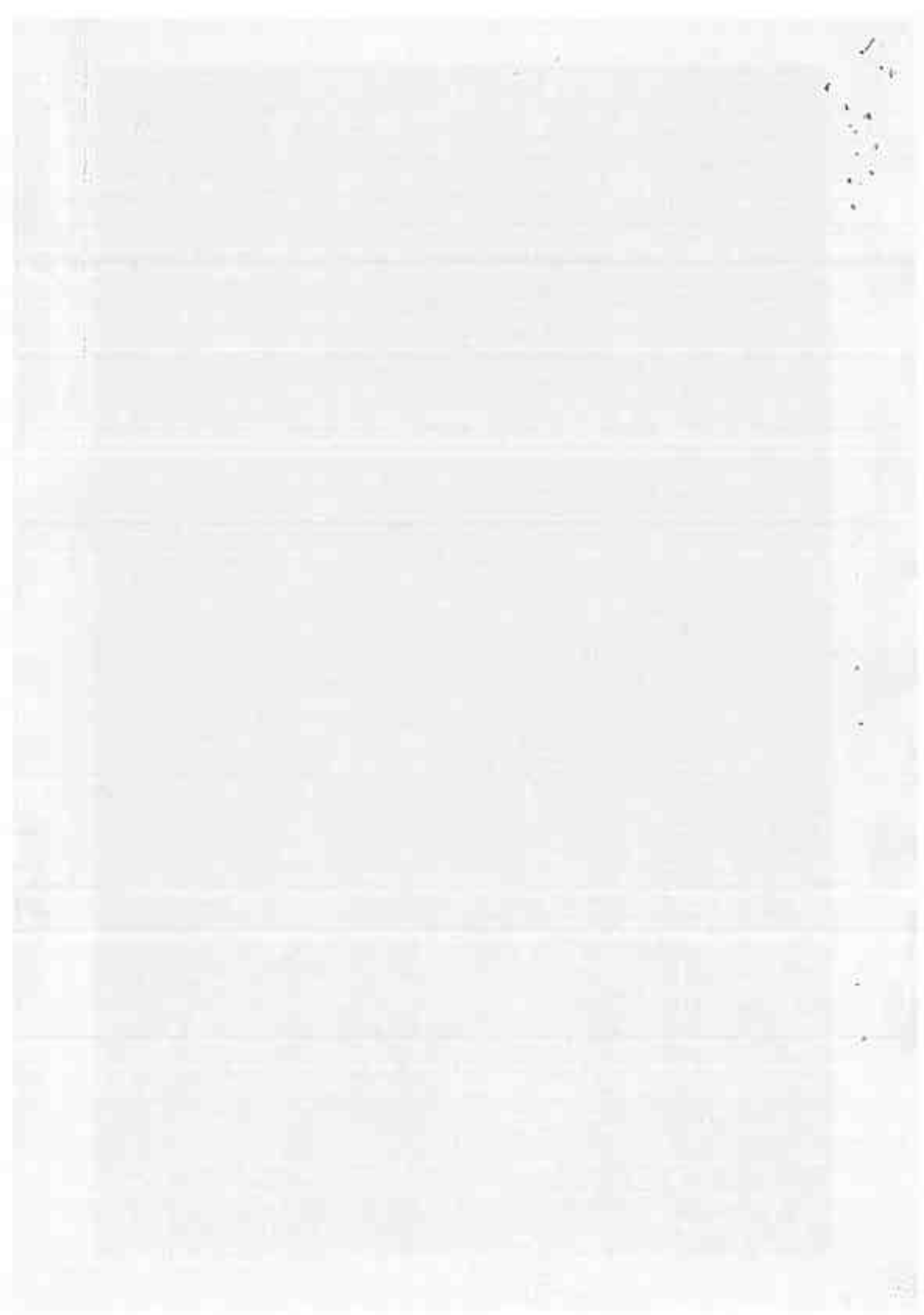


02/03/2016

Permanent Account Number

AAGFL2206H

*Autoblip*





कार्यालय आयकर विभाग  
INCOME TAX DEPARTMENT



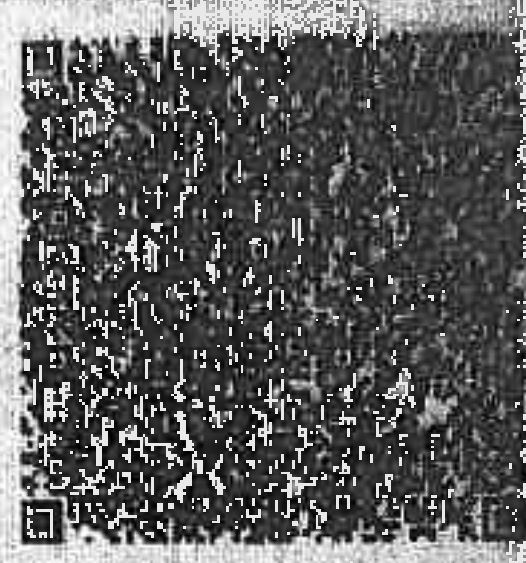
भारत सरकार  
GOVT. OF INDIA

स्थायी खाते संख्या कार्ड  
Permanent Account Number Card

*Handwritten signature*

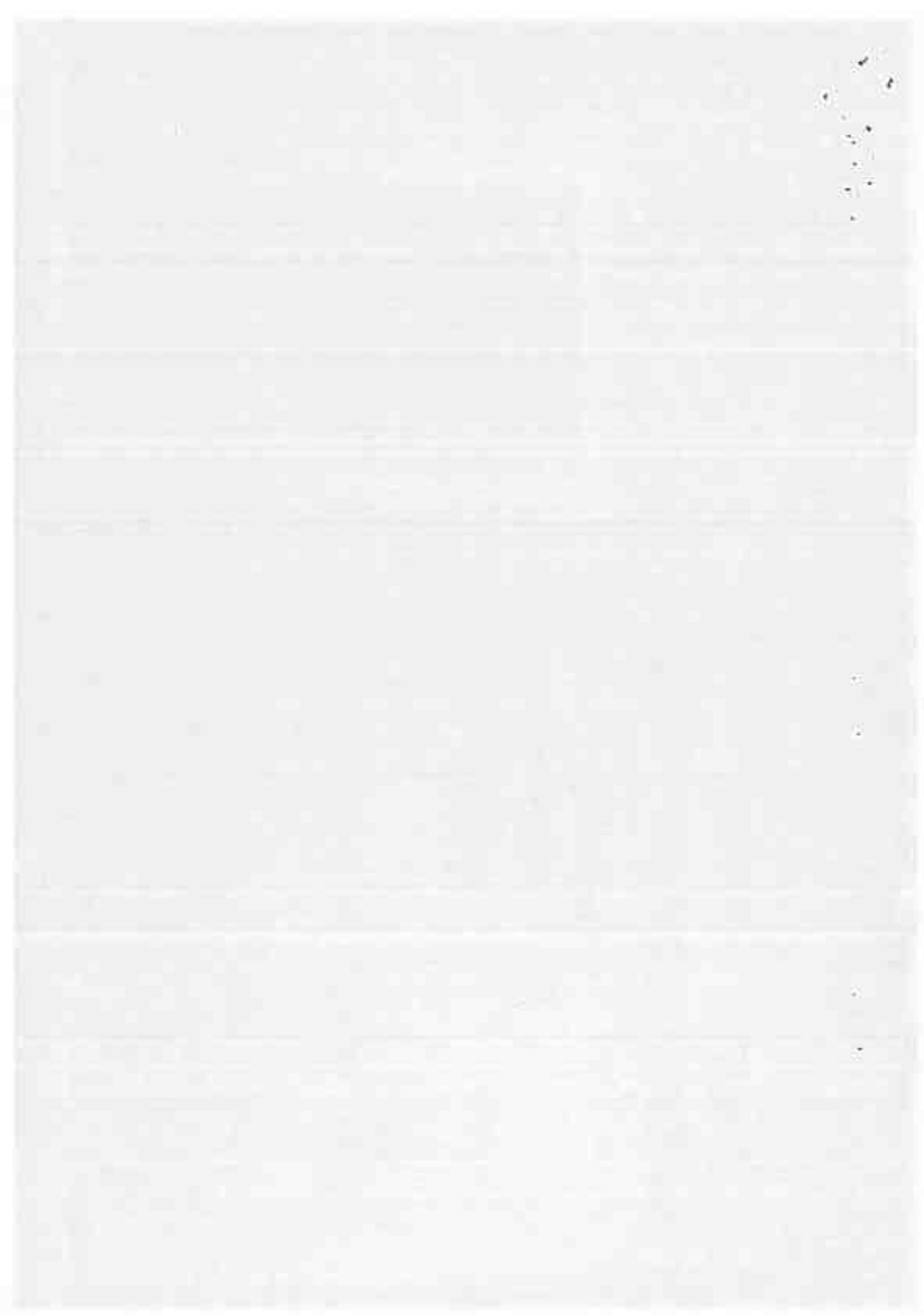
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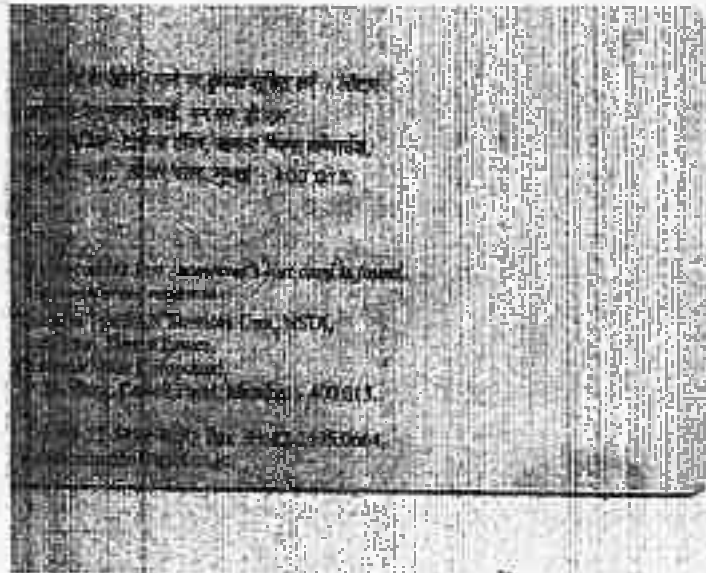
पते का नाम  
IDENTITY HEALTHY DEVELOPERS  
LLP



दिनांक  
Date of issue

स्थान  
Place



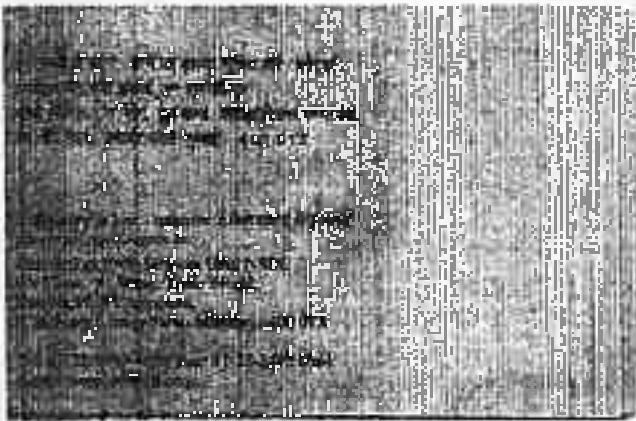


*Aditya Kumar*









*Ashyashanma*





भारत सरकार  
आयकर विभाग

सरकार  
भारत

अर्पिता शर्मा

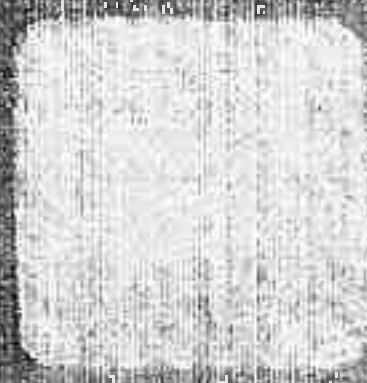
बिहार के राजधानी शहर में

02/07/1994

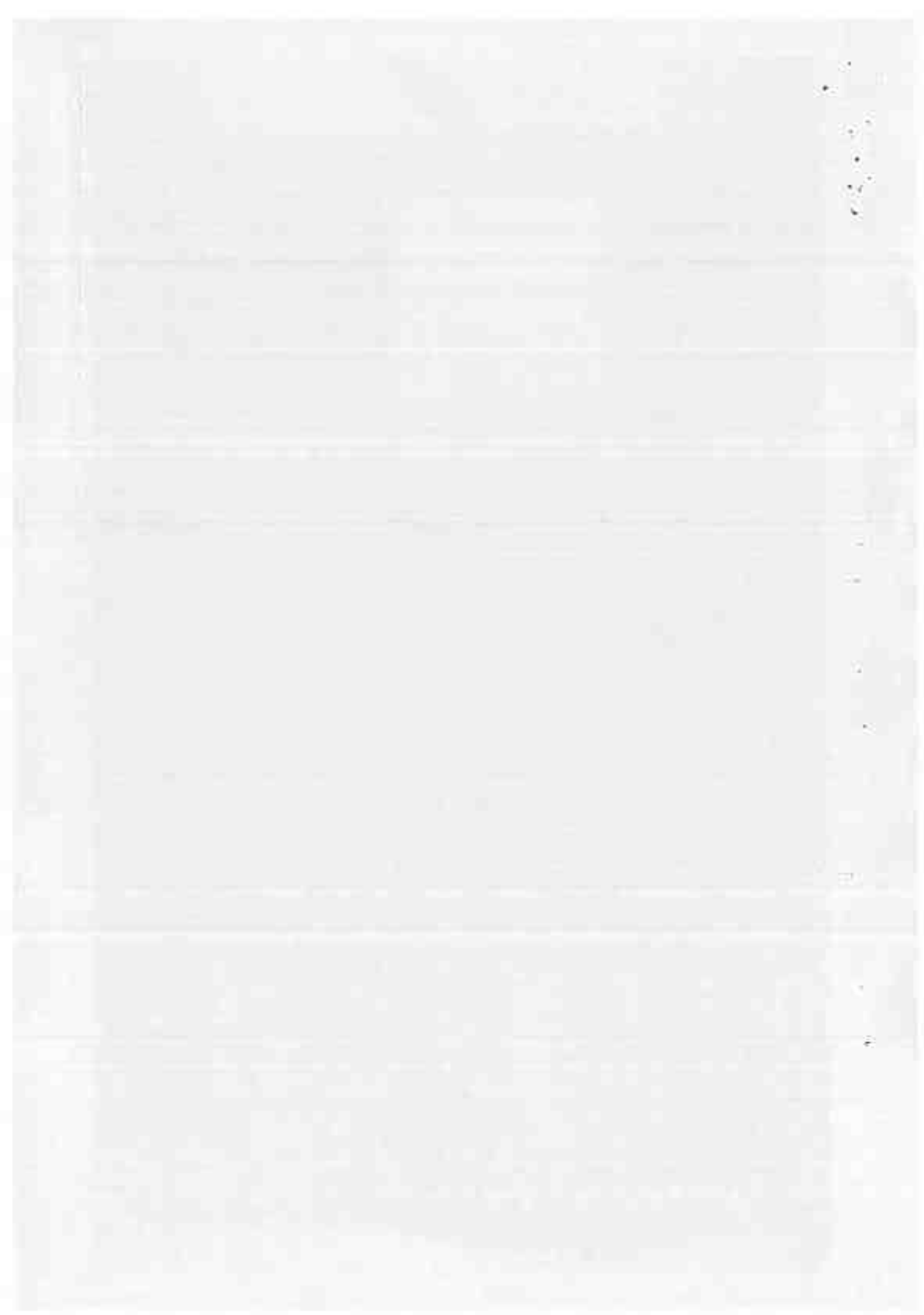
परमाणु संख्या नंबर

EVNPS3020P

आयकर



अर्पिता शर्मा





ভারত সরকার  
 Unique Identification Authority of India  
 विश्वव्यापी पहचान

অনুষ্ঠানিক আই ডি / Enrollment No: 10491201108104789

To  
 নাম বর্ধন ঘোষা  
 Raj Varshan Ghosh  
 OFF NEW ROAD  
 Alipore H.O.  
 Alipore  
 Kolkata  
 West Bengal 710027



1022149181515T



আসমান আধার সংখ্যা / Your Aadhaar No.:

**4723 0403 7792**

আধার - সাধারণ মানুষের অধিকার



ভারত সরকার  
 विश्वव्यापी पहचान



নাম বর্ধন ঘোষা  
 Raj Varshan Ghosh  
 পিতা : গোপাল প্রসাদ ঘোষা  
 Father: GOPAL PRASAD GHOSH  
 জন্ম সাল / Year of Birth: 1988  
 লিঙ্গ / Male



**4723 0403 7792**

আধার - সাধারণ মানুষের অধিকার

*(Handwritten signature)*



State Emblem of India

भारत-सर्वोच्च न्यायालय  
Supreme Court of India



AADHAAR

### ভূমিকা

- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়।
- পরিচয়ের প্রমাণ অনধিবেশিত প্রমাণীকরণ দ্বারা লাভ প্রাপ্য।

### INFORMATION

- Aadhaar is proof of identity, not of citizenship.
- To establish identity, authenticates online.

- আধার সফল দেশে লাভ্য।
- আধার ব্যবহারে সরকারী ও বেসরকারী পরিষেবা প্রাপ্তির সহায়ক হবে।
- Aadhaar is valid throughout the country.
- Aadhaar will be helpful in availing Government and Non-Government services in future.



অধার

১২৩/২, নতুন রোড, বাণেশ্বর  
এইচ ও, কোলকাতা, পশ্চিমবঙ্গ  
৭০০০৩৭

ভারতের জনসংখ্যা পরিচয় পরিষদ  
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

Address:  
123, NEW ROAD, BANESHWAR  
AHMED KOLKATA, WEST BENGAL  
700037

4723 0403 7792



1234567890

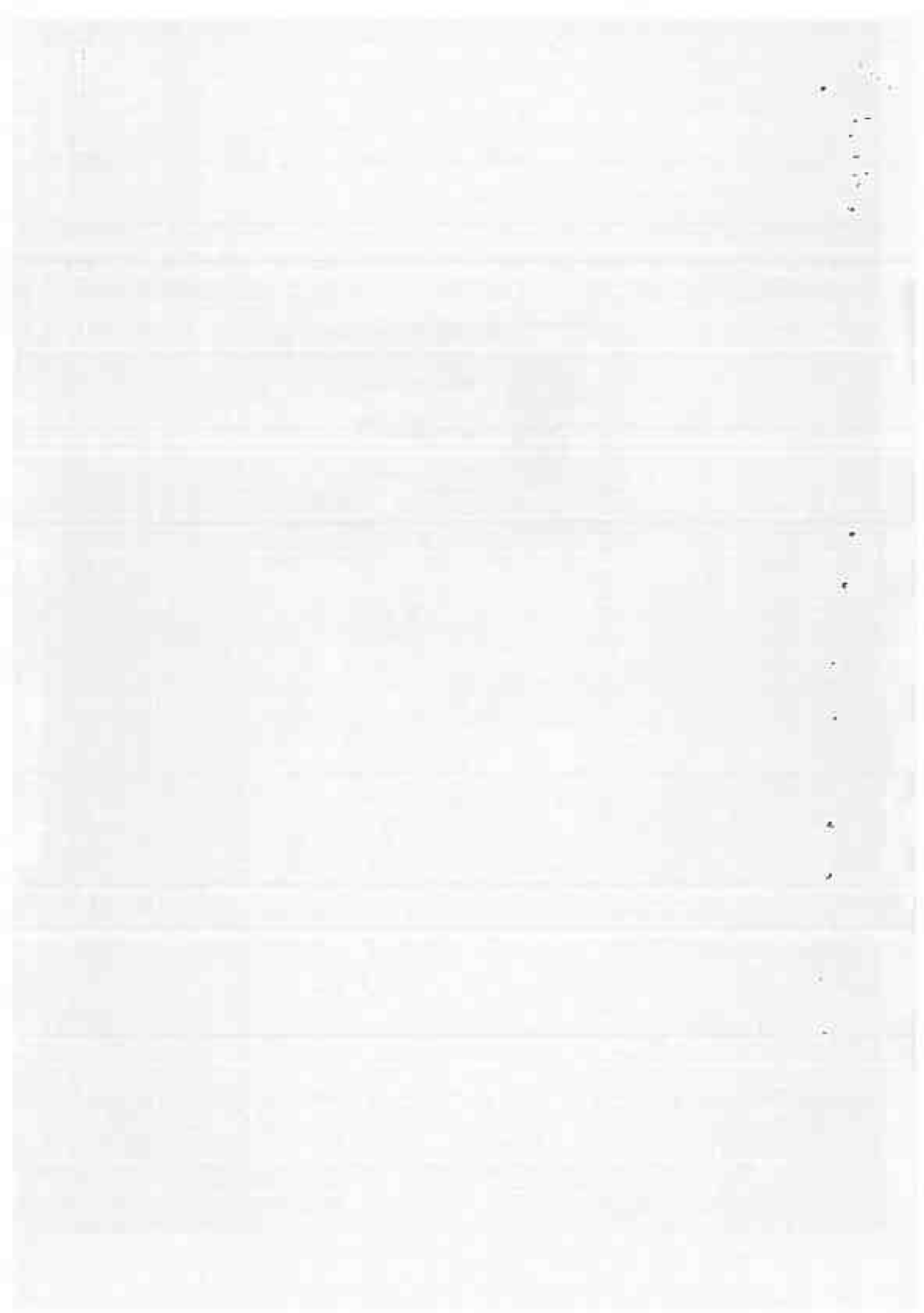


1234567890



1234567890





संयुक्त विपणन  
INDUSTRIAL DEVELOPMENT  
BANK LIMITED



एन सी ई डी  
GOVT. OF INDIA

भारतीय निर्यात निगम  
LIMITED

57/60/20174

परमार्थ (भारत) प्रा. लि.

आजुमन्तिसम

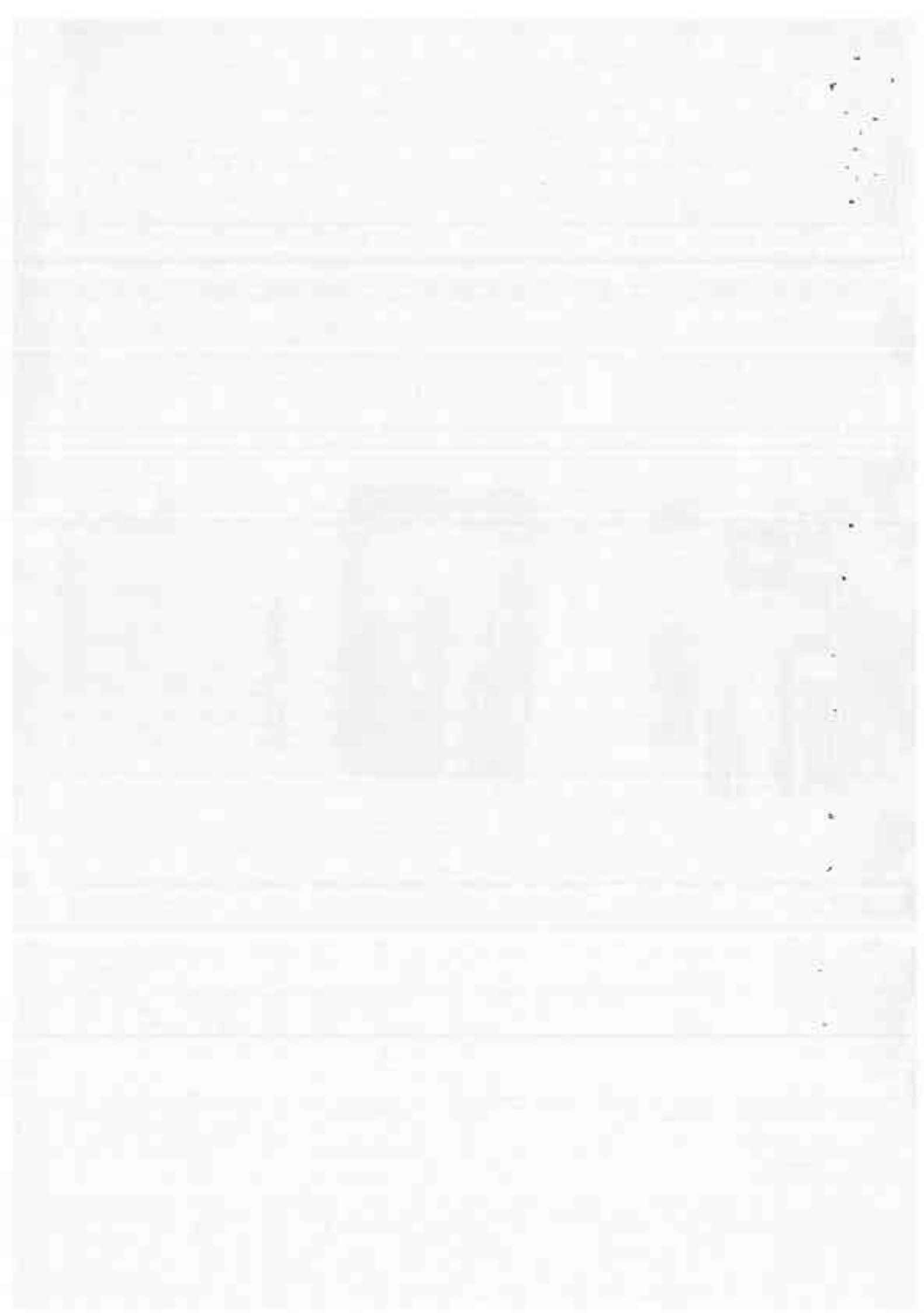


संयुक्त विपणन निगम (भारत) प्रा. लि.  
के द्वारा जारी किया गया है।  
इसका उद्देश्य निर्यात निगम (भारत) प्रा. लि.  
के सदस्यों को ऋण प्रदान करना है।  
9/1-1/1974

इस निगम के अध्यक्ष (भारत) प्रा. लि. के अध्यक्ष  
के द्वारा जारी किया गया है।  
इसका उद्देश्य निर्यात निगम (भारत) प्रा. लि.  
के सदस्यों को ऋण प्रदान करना है।  
9/1-1/1974

भारतीय निर्यात निगम (भारत) प्रा. लि.  
के द्वारा जारी किया गया है।  
इसका उद्देश्य निर्यात निगम (भारत) प्रा. लि.  
के सदस्यों को ऋण प्रदान करना है।  
9/1-1/1974

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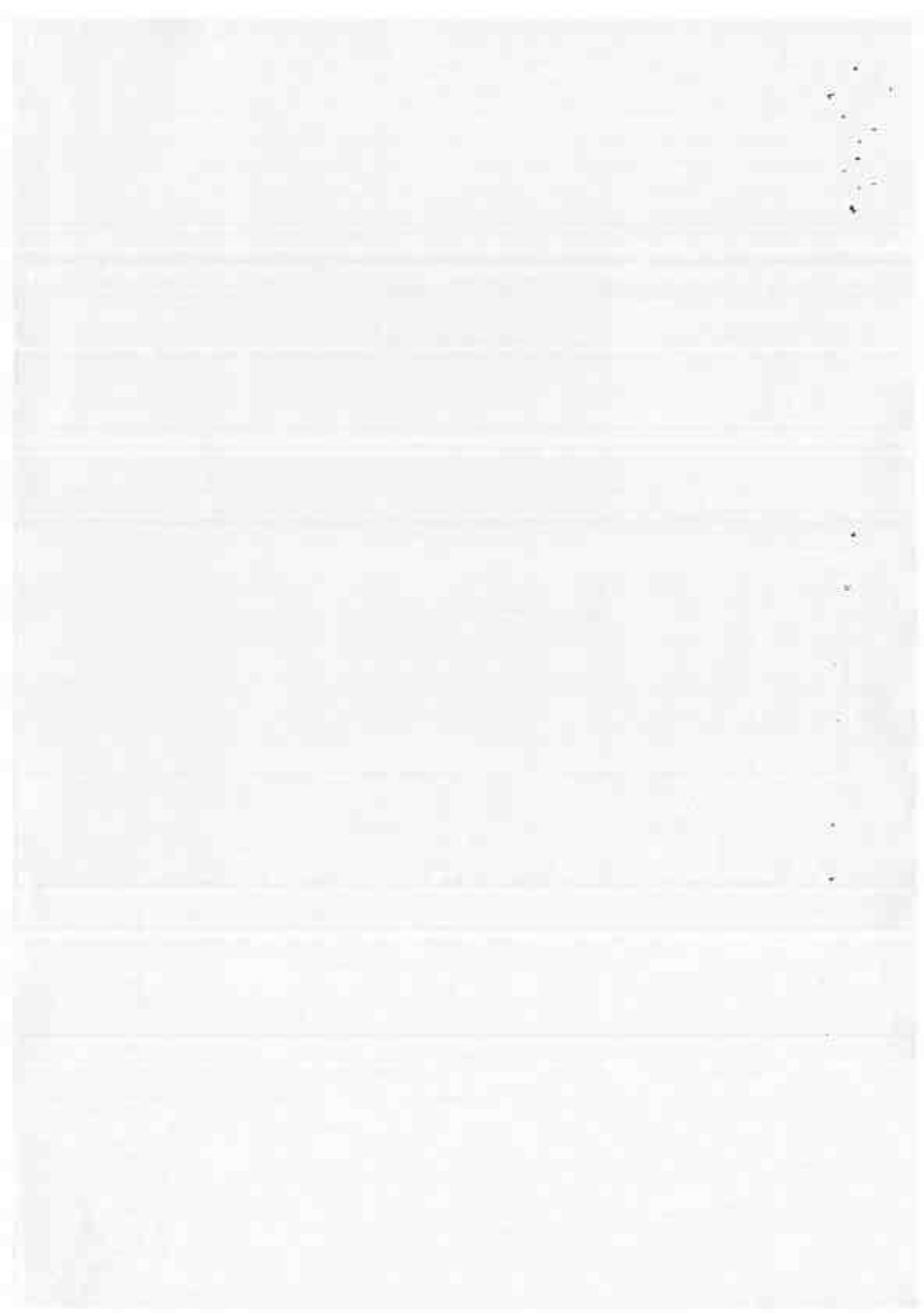
भारत सरकार  
INDIAN TAX DEPARTMENT  
भारत सरकार  
GOVT OF INDIA  
ALOK TOWERS PRIVATE LIMITED

22/11/2007

AAGCA3191H

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*Handwritten mark*





Govt. of West Bengal  
Directorate of Registration & Stamp Revenue  
GRIPS eChallan

**GRN Details**

GRN: 192020210237789461 Payment Mode: Online Payment  
GRN Date: 02/03/2021 10:28:52 Bank/Gateway: ICICI Bank  
BRN: 59565612 BRN Date: 02/03/2021 10:03:18  
Payment Status: Successful Payment Ref. No: 2000325053/1/2021  
(Query No. Query Year)

**Depositor Details**

Depositor's Name: RITURAJ CONSTRUCTION LLP  
Address: 207 AJC BOSE ROAD  
Mobile: 9850851118  
Depositor Status: Buyer/Claimants  
Query No: 2000325053  
On Behalf Of: Mr PARTHA NANDY  
Identification No: 2000325053/1/2021  
Remarks: Sale, Development Agreement or Construction agreement

**Payment Details**

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2000325053/1/2021	Property Registration- Stamp duty	0030-02-103-003-02	75020 ✓
2	2000325053/1/2021	Property Registration- Registration Fees	0030-03-100-003-16	21 ✓
			Total	75041

IN WORDS: SEVENTY FIVE THOUSAND FORTY ONE ONLY.

AMERICAN LEGATION  
ST. PAUL, MINN.  
- 3 MAR 2021

DATED THIS 30<sup>th</sup> DAY OF March 2021

BETWEEN

ALOK TOWERS PVT LTD & ORS

.. OWNERS

AND

RITURAJ CONSTRUCTION LLP

.. DEVELOPER

AND

SATYEN NIRMAN PRIVATE LIMITED

.. SNPL

**SUPPLEMENTARY DEVELOPMENT AGREEMENT**



**KHAITAN  
& CO**

*Advocates since 1973*

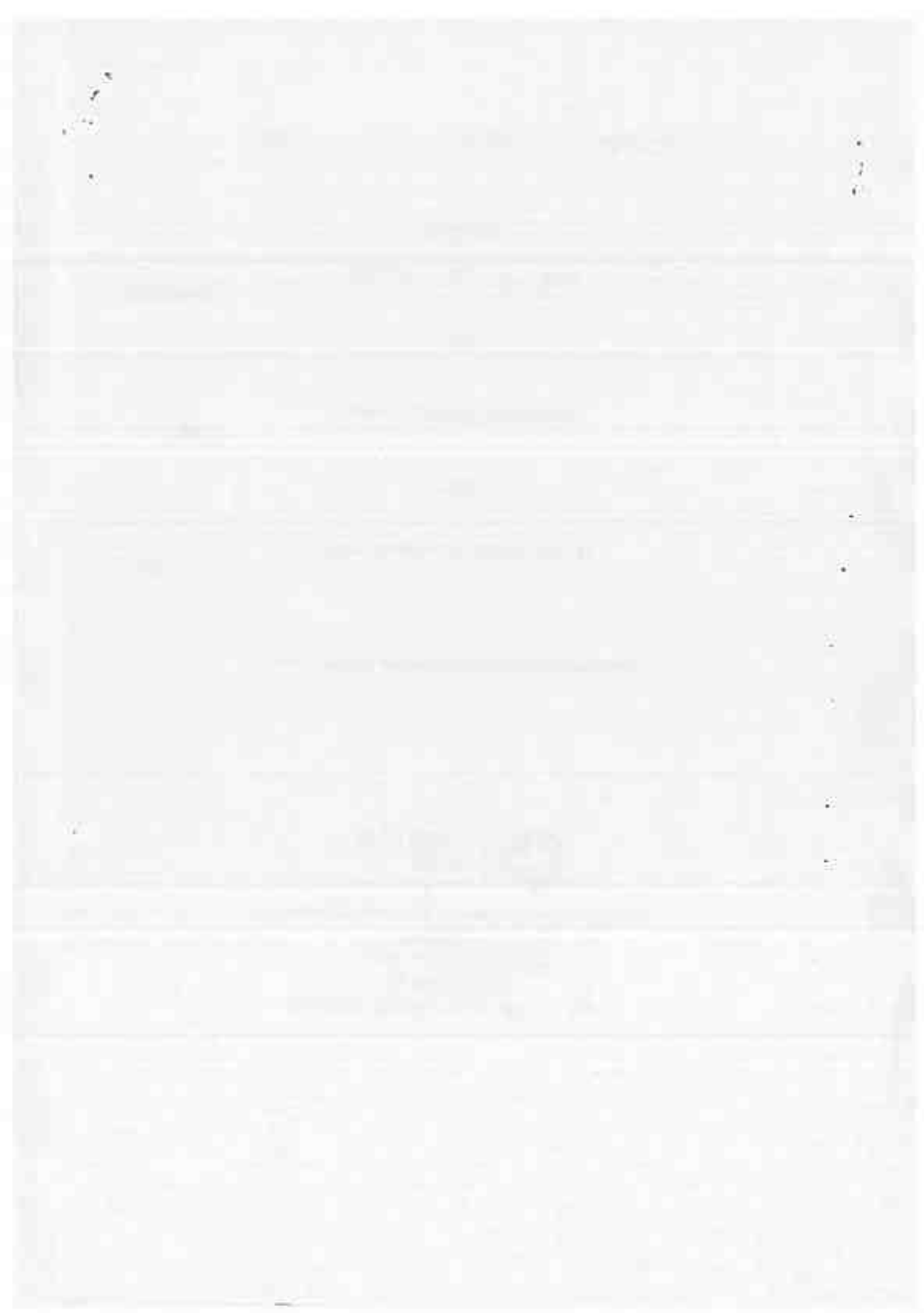
*Advocates, Notaries, Patent & Trademark Attorneys*

Emerald House,

1B, Old Post Office Street

Kolkata 700001

T: +91 33 2248 7000 | F: +91 33 2248 7656



### Major Information of the Deed

Deed No :	I-1901-02782/2021	Date of Registration	12/04/2021
Query No / Year	1901-2000325053/2021	Office where deed is registered	
Query Date	11/02/2021 3:59:34 PM	1901-2000325053/2021	
Applicant Name, Address & Other Details	PARTHA NANDY 10, K S ROY ROAD, Thana : Hara Street, District : Kolkata, WEST BENGAL, PIN - 700001, Mobile No. : 7003286463, Status :Deed Writer		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4306] Other than Immovable Property, Agreement [No of Agreement : 2]		
Set Forth value	Market Value		
	Rs. 28,20,30.732/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 75,120/- (Article:48(g))	Rs. 101/- (Article:E, E, M(a), M(b), I)		
Remarks	Received Rs. 50/- ( FIFTY only ) from the applicant for issuing the assessment slip.(Urban area)		

#### Land Details :

District: North 24-Parganas, P.S:- Khardaha, Municipality: PANIHATI, Road: B.T. Road, Mouza: Agarpara, , Holding No:76F/1 JI No: 11, Pin Code : 700110

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-1074 (RS :-)	LR-1287	Bastu	Bastu	6 Dec		81,45,456/-	Property is on Road
L2	LR-1075 (RS :-)	LR-1287	Bastu	Bastu	27 Dec		3,68,54,552/-	Property is on Road
L3	LR-1079 (RS :-)	LR-1287	Bastu	Bastu	39 Dec		5,29,45,464/-	Property is on Road
L5	LR-1088 (RS :-)	LR-1287	Bastu	Bastu	6 Dec		81,45,456/-	Property is on Road
L6	LR-1087 (RS :-)	LR-1257	Bastu	Bastu	4 Dec		54,30,304/-	Property is on Road
L7	LR-1088 (RS :-)	LR-1257	Bastu	Bastu	1 Dec		13,57,576/-	Property is on Road
L8	LR-1089 (RS :-)	LR-1257	Bastu	Bastu	1 Dec		13,57,576/-	Property is on Road
L9	LR-1081 (RS :-)	LR-1257	Bastu	Bastu	104 Dec		14,11,87,904/-	Property is on Road
		<b>TOTAL :</b>			<b>188Dec</b>	<b>0 /-</b>	<b>2552,24,288 /-</b>	

District: North 24-Parganas, P.S:- Khardaha, Municipality: PANIHATI, Road: B.T.Road, Mouza: Agarpara, , Holding No:76F/1 JI No: 11, Pin Code : 700110

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L4	LR-1082 (RS :-)	LR-1287	Bastu	Bastu	19 Dec		2,57,93,944/-	Property is on Road
	<b>Grand Total :</b>				<b>207Dec</b>	<b>0 /-</b>	<b>2810,18,232 /-</b>	





**Structure Details :**

Sch No	Structure Details	Area of Structure	Safforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1, L2, L3, L4, L5, L6, L7, L8, L9	5000 Sq Ft	0/-	10,12,500/-	Structure Type: Structure
Gr. Floor, Area of floor : 5000 Sq Ft, Residential Use, Cemented Floor, Age of Structure: 50 Years, Roof Type Tiles Shed, Extent of Completion: Complete					
<b>Total :</b>		<b>5000 sq ft</b>	<b>0/-</b>	<b>10,12,500/-</b>	

**Land Lord Details :**

Sl No	Name,Address,Photo,Finger print and Signature
1	<b>ALOK TOWERS PRIVATE LIMITED</b> 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.: AAxxxxx1H,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
-2	<b>DIPANKAR PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktala, District:-Kolkata, West Bengal, India, PIN - 700006 , PAN No.: AAxxxxx7G,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
3	<b>PRASHANT COMMODITIES PRIVATE LIMITED</b> 80A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.: AAxxxxx7C,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
4	<b>DEV DAN PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktala, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.: AAxxxxx6E,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
5	<b>IDENTITY REALTY DEVELOPERS LLP</b> 26, BELVEDERE ROAD, 1st FLOOR, P.O:- ALIPORE, P.S:- Alipore, District:-South 24-Parganas, West Bengal, India, PIN - 700027 , PAN No.: AAxxxxx8M,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
6	<b>JOHRI TOWERS PRIVATE LIMITED</b> 50A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.: AAxxxxx7E,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
7	<b>NAVJOT PROPERTIES PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktala, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.: AAxxxxx7K,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
8	<b>BASUDEV BUILDERS PRIVATE LIMITED</b> B/1, LAL BAZAR STREET, BIKANER BUILDING, 1st FLOOR, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001 , PAN No.: AAxxxxx5F,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
9	<b>LAND MARK MEDINOVA LLP</b> 26, BELVEDERE ROAD, 1st FLOOR, P.O:- ALIPORE, P.S:- Alipore, District:-South 24-Parganas, West Bengal, India, PIN - 700027 , PAN No.: AAxxxxx2G,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative



10	<b>VEERU APARTMENTS PRIVATE LIMITED</b> 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.:: AAxxxxxx4J,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
11	<b>DEEPAN PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxx3C,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
12	<b>BFM INDUSTRIES LIMITED</b> 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.:: AAxxxxxx2F,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
13	<b>DEEPTIMAN PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxxBK,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
14	<b>SOMANI ESTATES PRIVATE LIMITED</b> 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.:: AAxxxxxx0A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
15	<b>SATYEN PROPERTIES PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxxBJ,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
16	<b>SAMSPA EXPO PRIVATE LIMITED</b> 60A, CHOWRINGHEE ROAD, GROUND FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020 , PAN No.:: AAxxxxxx9K,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
17	<b>PUSPAKUNJ ESTATES PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxx9P,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
18	<b>DEVADATTA PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxx6H,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
19	<b>AATMAJ REALTORS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxx4A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
20	<b>R D DEVCON PRIVATE LIMITED</b> 8/1, LAL BAZAR STREET, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001 , PAN No.:: AAxxxxxx4H,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
21	<b>DINAKAR PROJECTS PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- KOLKATA GPO, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700001 , PAN No.:: AAxxxxxx3A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
22	<b>MODAK VYAPAAR PRIVATE LIMITED</b> 8/1, LAL BAZAR STREET, BIKANER BUILDING, 1st FLOOR, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001 , PAN No.:: AAxxxxxx5B,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative
23	<b>SATYEN NIRMAN PRIVATE LIMITED</b> 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District - Kolkata, West Bengal, India, PIN - 700006 , PAN No.:: AAxxxxxx3M,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative



**Developer Details :**

Sl No	Name,Address,Photo,Finger print and Signature
1	<b>RITURAJ CONSTRUCTION LLP</b> 207, ACHARYA JAGADISH CHANDRA BOSE ROAD, P.O:- CIRCUS AVENUE, P.S:- Beniapukur, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700017 . PAN No.:: AAxxxxxx6H,Aadhaar No Not Provided by UIDAI Status : Organization, Executed by: Representative

**Representative Details :**

Sl No	Name,Address,Photo,Finger print and Signature
1	<b>Mr RAJ VARDHAN PATODIA (Presentant )</b> Son of Mr GOPAL PATODIA 207, A J C BOSE ROAD, P.O:- CIRCUS AVENUE, P.S:- Beniapukur, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700017, Sex: Male, By Caste: Hindu, Occupation Others, Citizen of India, . PAN No.:: AFxxxxxx3H, Aadhaar No: 47xxxxxxxx7792 Status : Representative, Representative of : RITURAJ CONSTRUCTION LLP (as PARTNER)
2	<b>Mr ADITYA SHARMA</b> Son of Late P SHARMA 32, BALARAM DEY STREET, P.O:- BEADON STREET, P.S:- Girish Park, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006, Sex: Male, By Caste: Hindu, Occupation Others, Citizen of India, . PAN No.:: FVxxxxxx0P, Aadhaar No: 61xxxxxxxx7666 Status : Representative, Representative of : ALOK TOWERS PRIVATE LIMITED (as DIRECTOR), DIPANKAR PROJECTS PRIVATE LIMITED (as DIRECTOR), PRASHANT COMMODITIES PRIVATE LIMITED (as DIRECTOR), DEVDAN PROJECTS PRIVATE LIMITED (as DIRECTOR), JOHRI TOWERS PRIVATE LIMITED (as DIRECTOR), NAVJOT PROPERTIES PRIVATE LIMITED (as DIRECTOR), BASUDEV BUILDERS PRIVATE LIMITED (as DIRECTOR), VEKAY APARTMENTS PRIVATE LIMITED (as DIRECTOR), DEEPAN PROJECTS PRIVATE LIMITED (as ), BFM INDUSTRIES LIMITED (as DIRECTOR), DEEPTIMAN PROJECTS PRIVATE LIMITED (as DIRECTOR), SOMANI ESTATES PRIVATE LIMITED (as DIRECTOR), SATYEN PROPERTIES PRIVATE LIMITED (as DIRECTOR), SAMSPA EXPO PRIVATE LIMITED (as DIRECTOR), PUSPAKUNJ ESTATES PRIVATE LIMITED (as DIRECTOR), DEVADATTA PROJECTS PRIVATE LIMITED (as DIRECTOR), AATMAJ REALTORS PRIVATE LIMITED (as DIRECTOR), R D DEVCON PRIVATE LIMITED (as DIRECTOR), DINAKAR PROJECTS PRIVATE LIMITED (as DIRECTOR), MODAK VYAPAAR PRIVATE LIMITED (as DIRECTOR), SATYEN NIRMAN PRIVATE LIMITED (as DIRECTOR)
3	<b>Mr SAURABH PARMANAND TAPADIYA</b> Son of Mr PARMANAND LADURAM TAPADIYA 26, BELVEDERE ROAD, 1st FLOOR, P.O:- AIPORE, P.S:- Alipore, District:-South 24-Parganas, West Bengal, India, PIN - 700027, Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of India, . PAN No.:: AAxxxxxx0F,Aadhaar No Not Provided by UIDAI Status : Representative, Representative of : IDENTITY REALTY DEVELOPERS LLP (as PARTNER), LAND MARK MEDINOVA LLP (as PARTNER)

**Identifier Details :**

Name	Photo	Finger Print	Signature
<b>Mr ANIRBAN BHATTACHARYA</b> Son of Mr G BHATTACHARYA 77, KALIDHAM BHATTACHARYA ROAD, P.O:- JAYNAGAR MAYAPUR, P.S:- Jaynagar, District:-South 24-Parganas, West Bengal, India, PIN - 743337			

Identifier Of Mr RAJ VARDHAN PATODIA, Mr ADITYA SHARMA, Mr SAURABH PARMANAND TAPADIYA



**Transfer of property for L1**

Sl.No	From	To, with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.26087 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-0.26087 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec





**Transfer of property for LZ**

Sl.No	From	To, with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
4	DEVGAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-1,17391 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
9	LAND MARK MEDINDVA LLP	RITURAJ CONSTRUCTION LLP-1,17391 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
19	AATHAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
20	R D DEVGAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1,17391 Dec



**Transfer of property for L3**

Sl.No	From	To. with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-1.69565 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-1.69565 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-1.69565 Dec



**Transfer of property for L4**

Sl.No	From	To, with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.826087 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-0.826087 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
11	DEEPAK PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.826087 Dec



**Transfer of property for L5**

Sl.No	From	To. with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.26087 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
9	LAND MARK MEDINVA LLP	RITURAJ CONSTRUCTION LLP-0.26087 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
13	DIEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.26087 Dec





**Transfer of property for L6**

Sl.No	From	To, with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.173913 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-0.173913 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
16	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
18	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.173913 Dec



**Transfer of property for L7**

Sl.No	From	To. with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
7	NAYJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
17	PLUSAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec



**Transfer of property for LB**

<b>Sl.No</b>	<b>From</b>	<b>To, with area (Name-Area)</b>
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-0.0434783 Dec



**Transfer of property for LP**

<b>Sl.No</b>	<b>From</b>	<b>To, with area (Name-Area)</b>
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-4.52174 Dec
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-4.52174 Dec
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-4.52174 Dec





**Transfer of property for S1**

Sl.No	From	To. with area (Name-Area)
1	ALOK TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
2	DIPANKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
3	PRASHANT COMMODITIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
4	DEV DAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
5	IDENTITY REALTY DEVELOPERS LLP	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
6	JOHRI TOWERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
7	NAVJOT PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
8	BASUDEV BUILDERS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
9	LAND MARK MEDINOVA LLP	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
10	VEEKAY APARTMENTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
11	DEEPAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
12	BFM INDUSTRIES LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
13	DEEPTIMAN PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
14	SOMANI ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
15	SATYEN PROPERTIES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
16	SAMSPA EXPO PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
17	PUSPAKUNJ ESTATES PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
18	DEVADATTA PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
19	AATMAJ REALTORS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
20	R D DEVCON PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
21	DINAKAR PROJECTS PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
22	MODAK VYAPAAR PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft
23	SATYEN NIRMAN PRIVATE LIMITED	RITURAJ CONSTRUCTION LLP-217.39130400 Sq Ft



## Land Details as per Land Record

District: North 24-Parganas, P.S:- Khardaha, Municipality: PANIHATI, Road: B.T. Road, Mouza: Agarpara, Holding No: 76F/1 JI No: 11, Pin Code : 700110

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 1074, LR Khatian No:- 1287		Seller is not the recorded Owner as per Applicant.
L2	LR Plot No:- 1075, LR Khatian No:- 1287		Seller is not the recorded Owner as per Applicant.
L3	LR Plot No:- 1079, LR Khatian No:- 1287		Seller is not the recorded Owner as per Applicant.
L5	LR Plot No:- 1086, LR Khatian No:- 1287		Seller is not the recorded Owner as per Applicant.
L6	LR Plot No:- 1087, LR Khatian No:- 1257		Seller is not the recorded Owner as per Applicant.
L7	LR Plot No:- 1088, LR Khatian No:- 1257		Seller is not the recorded Owner as per Applicant.
L8	LR Plot No:- 1089, LR Khatian No:- 1257		Seller is not the recorded Owner as per Applicant.
L9	LR Plot No:- 1091, LR Khatian No:- 1257		Seller is not the recorded Owner as per Applicant.

District: North 24-Parganas, P.S:- Khardaha, Municipality: PANIHATI, Road: B.T.Road, Mouza: Agarpara, Holding No: 76F/1 JI No: 11, Pin Code : 700110

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L4	LR Plot No:- 1082, LR Khatian No:- 1287		Seller is not the recorded Owner as per Applicant.



On 03-03-2021

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1982)

Presented for registration at 19:25 hrs on 03-03-2021, at the Private residence by Mr RAJ VARDHAN PATODIA

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 28,20,30,732/-

Admission of Execution ( Under Section 68, W.B. Registration Rules, 1982 ) (Representative)

Execution is admitted on 03-03-2021 by Mr RAJ VARDHAN PATODIA, PARTNER, RITURAJ CONSTRUCTION LLP (LLP), 207, ACHARYA JAGADISH CHANDRA BOSE ROAD, P.O:- CIRCUS AVENUE, P.S.- Benlapukur, Kolkata District:-Kolkata, West Bengal, India, PIN - 700017

Identified by Mr ANIRBAN BHATTACHARYA, , Son of Mr G BHATTACHARYA, 77, KALIDHAM BHATTACHARYA ROAD, P.O: JAYNAGAR MAYAPUR, Thana: Joynagar, , South 24-Parganas, WEST BENGAL, India, PIN - 743337. by caste Hindu. by profession Others

Execution is admitted on 03-03-2021 by Mr ADITYA SHARMA, , DEEPAN PROJECTS PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, R D DEVCON PRIVATE LIMITED (Private Limited Company), 6/1, LAL BAZAR STREET, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001; DIRECTOR, ALOK TOWERS PRIVATE LIMITED (Private Limited Company), 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, DIPANKAR PROJECTS PRIVATE LIMITED (Private Limited Company) 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- manicktola, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, PRASHANT COMMODITIES PRIVATE LIMITED (Private Limited Company) 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, DEVDAN PROJECTS PRIVATE LIMITED (Private Limited Company) 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, JOHRI TOWERS PRIVATE LIMITED (Private Limited Company) 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, NAVJOT PROPERTIES PRIVATE LIMITED (Private Limited Company) 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, BASUDEV BUILDERS PRIVATE LIMITED (Private Limited Company) 8/1, LAL BAZAR STREET, BIKANER BUILDING, 1st FLOOR, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001; DIRECTOR, VEEKAY APARTMENTS PRIVATE LIMITED (Private Limited Company), 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, BFM INDUSTRIES LIMITED, 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, DEEPTIMAN PROJECTS PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, SOMANI ESTATES PRIVATE LIMITED (Private Limited Company), 60A, CHOWRINGHEE ROAD, 2nd FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, SATYEN PROPERTIES PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, SAMSPA EXPO PRIVATE LIMITED (Private Limited Company), 60A, CHOWRINGHEE ROAD, GROUND FLOOR, P.O:- ELGIN ROAD, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700020; DIRECTOR, PUSPAKUNJ ESTATES PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, DEVADATTA PROJECTS PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, AATMAJ REALTORS PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006; DIRECTOR, DINAKAR PROJECTS PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- KOLKATA GPO, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001; DIRECTOR, MODAK VYAPAAR PRIVATE LIMITED (Private Limited Company), 6/1, LAL BAZAR STREET, BIKANER BUILDING, 1st FLOOR, P.O:- KOLKATA GPO, P.S:- Hare Street, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700001; DIRECTOR, SATYEN NIRMAL PRIVATE LIMITED (Private Limited Company), 283C, VIVEKANANDA ROAD, GROUND FLOOR, P.O:- MANICKTALA, P.S:- Manicktola, Kolkata, District:-Kolkata, West Bengal, India, PIN - 700006



Indented by Mr ANIRBAN BHATTACHARYA, , Son of Mr G BHATTACHARYA, 77, KALIDHAM BHATTACHARYA ROAD, P.O: JAYNAGAR MAYAPUR, Thana: Joy nagar, , South 24-Parganas, WEST BENGAL, India, PIN - 743337 by caste Hindu, by profession Others

Execution is admitted on 03-03-2021 by Mr SAURABH PARMANAND TAPADIYA PARTNER, IDENTITY REALTY DEVELOPERS LLP (LLP), 26, BELVEDERE ROAD, 1st FLOOR, P.O:- ALIPORE, P.S.- Alipore, District-South 24-Parganas, West Bengal, India. PIN - 700027; PARTNER, LAND MARK MEDINOVA LLP (LLP), 26, BELVEDERE ROAD, 1st FLOOR, P.O - ALIPORE, P.S.- Alipore, District-South 24-Parganas, West Bengal, India, PIN - 700027

Indented by Mr ANIRBAN BHATTACHARYA, , Son of Mr G BHATTACHARYA, 77, KALIDHAM BHATTACHARYA ROAD, P.O: JAYNAGAR MAYAPUR, Thana: Joy nagar, , South 24-Parganas, WEST BENGAL, India, PIN - 743337 by caste Hindu, by profession Others



Debasis Patra

ADDITIONAL REGISTRAR OF ASSURANCE  
OFFICE OF THE A.R.A. - I KOLKATA

Kolkata, West Bengal

**On 08-04-2021**

**Payment of Fees**

Certified that required Registration Fees payable for this document is Rs 101/- ( E = Rs 21/- , I = Rs 55/- , M(a) = Rs 21 , M(b) = Rs 4/- ) and Registration Fees paid by by online = Rs 21/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 02/03/2021 10:30AM with Govt. Ref. No: 192020210237789461 on 02-03-2021, Amount Rs: 21/-, Bank: ICICI Bank ( ICIC0000006), Ref. No. 59585812 on 02-03-2021, Head of Account 0030-03-104-001-15

**Payment of Stamp Duty**

Certified that required Stamp Duty payable for this document is Rs. 75,020/- and Stamp Duty paid by by online = Rs 75,020/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 02/03/2021 10:30AM with Govt. Ref. No: 192020210237789461 on 02-03-2021, Amount Rs: 75,020/-, Bank: ICICI Bank ( ICIC0000006), Ref. No. 59585812 on 02-03-2021, Head of Account 0030-02-103-003-02



Debasis Patra

ADDITIONAL REGISTRAR OF ASSURANCE  
OFFICE OF THE A.R.A. - I KOLKATA

Kolkata, West Bengal





**Certificate of Admissibility (Rule 43, W.B. Registration Rules 1962)**

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number: 4 (g) of Indian Stamp Act 1899.

**Payment of Fees**

Certified that required Registration Fees payable for this document is Rs 101/- ( E = Rs 21/- , J = Rs 55/- , M(a) = Rs 21/- , M(b) = Rs 4/- ) and Registration Fees paid by Cash Rs 80/-

**Payment of Stamp Duty**

Certified that required Stamp Duty payable for this document is Rs 75,020/- and Stamp Duty paid by Stamp Rs 100/-

**Description of Stamp**

1. Stamp Type: Impressed, Serial no 76864, Amount: Rs.100/-, Date of Purchase: 03/03/2021, Vendor name: Ashutosh Sarkar



**Debasis Patra**

**ADDITIONAL REGISTRAR OF ASSURANCE**

**OFFICE OF THE A.R.A. - I KOLKATA**

**Kolkata, West Bengal**





Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1901-2021, Page from 167534 to 167620  
being No 190102782 for the year 2021.



Digitally signed by DEBASIS PATRA  
Date: 2021.04.19 16:56:05 +05:30  
Reason: Digital Signing of Deed.

*Debasis Patra*

{Debasis Patra} 2021/04/19 04:56:05 PM  
ADDITIONAL REGISTRAR OF ASSURANCE  
OFFICE OF THE A.R.A. - I KOLKATA  
West Bengal.

(This document is digitally signed.)